

RESOLUTION OF THE CITY COUNCIL

No. 502

Approved August 11, 2000

SECTION 1. The New England Meeting of Friends and Moses Brown School (collectively, "Petitioner"), through its representatives, seeks to reconfigure its existing internal traffic patterns, construct a traffic island and appurtenant traffic controls in the vicinity of Hope, Thayer, and Burns Street. Petitioner has recognized the need for more intensive traffic control and wishes to upgrade existing traffic controls.

SECTION 2. Petitioner is hereby authorized to erect a traffic island, signage and striping, at its sole expense, at the intersection of Hope, Thayer & Burns Streets in the City. The Petitioner is authorized to encroach on the public way only to the extent necessary to complete said construction. Said authority is specifically granted upon the conditions contained herein.

SECTION. 3. Petitioner shall not construct or affix to the realty any temporary or permanent structure other than that described to the City Council Committee on Public Works.

SECTION 4. Any or construction necessary for installation of the island shall be resurfaced/rehabilitated to the approval of the Director of the Department of Public Works, the Traffic Engineer and the Director of the Department of Inspection and Standards.

SECTION. 5. All traffic control shall meet all specifications and requirements of the Traffic Engineer .

SECTION 6. Petitioner shall ascertain that there exists no adverse impact on any local utility company.

SECTION 7. During construction of said island and until such time as the City shall officially assume control/ownership over said island and signage, Petitioner shall maintain an insurance policy against loss or claim and it shall name the City of Providence, its officers, employees and agents as additional named insured and shall be

JUN 1 2000
IN CITY COUNCIL
FIRST READING
REFERRED TO COMMITTEE ON
PUBLIC WORKS

Michael P. Clement
LET. 2
CB

THE COMMITTEE ON
PUBLIC WORKS
Approves Passage of
The Within Resolution

Claire Bestwick
July 12 2000
Clerk

From the Clerks Desk

for a sum of not less than \$100,000. Said policy shall be approved by the Department of Law of the City of Providence.

SECTION 8. Petitioner shall execute an indemnification and hold-harmless agreement approved by the Department of Law of the City of Providence.

SECTION 9. All construction shall be performed according to the plans submitted by Petitioner, as those plans may have been modified by any city department or by the Council Committee on Public Works.

SECTION 10. Such other terms and conditions as may be reflected in the record and minutes of the City Council Committee on Public Works and/or as may be deemed appropriate by the Department of Law of the City of Providence and His Honor the Mayor.

SECTION 11. Petitioner shall, at its own expense, remove said encroachment in the event the City notifies said Petitioner or any successor in interest thirty (30) days in advance of the intent of the City to utilize said realty for any purposes. By commencing any alteration pursuant to this grant, Petitioner specifically waives any claim for damages it may have for such use.

SECTION 12. Petitioner shall comply with all conditions contained herein not later than sixty (60) days from its approval. Upon failure to so comply for any reason, the within resolution shall automatically become a nullity.

CITY COUNCIL
AUG 3 2000
READ AND PASSED
[Signature]
PRES.
[Signature]
CLERK

APPROVED
AUG 11 2000
[Signature]
MAYOR

IRENE J. TESTA
Traffic Engineer

JOSEPH W. CAPRIO
Deputy Director



VINCENT A. CIANCI, JR.
Mayor

Department of Traffic Engineering
"Building Pride In Providence"

MEMORANDUM

TO: Councilman Robert Clarkin
Chairman, Committee on Public Works

FROM: Irene J. Testa *Irene J. Testa*

DATE: 7/5/00

RE: PENDING MATTERS

Request: That Moses Brown School be granted permission to make the necessary roadway improvements as outlined in their petition.

Disposition: No objection.



PROVIDENCE POLICE DEPARTMENT
Traffic Services
209 Fountain St, Providence, RI 02903
272-3121 X2352

6/12/00

To: Councilman Robert M. Clarkin, Chairman, Committee on Public Works
From: Major Richard T. Sullivan
Subject: Construction of Traffic Island at Hope Street and Lloyd Avenue

Sir:

Attached is a Memorandum dated June 7, 2000, reference the construction of a traffic island at the intersection of Hope/Lloyd/Thayer/Barnes Street. I am not completely sure why the traffic island is being installed, when the issue is opening a portion of the Moses Brown property for entering and exiting vehicles. The petition does not have a diagram attached nor is there traffic impact study material. With these comments, the Providence Police Department does not have enough information to approve the recommendation.

JAMES F. RATTIGAN
CHIEF OF DEPARTMENT

DAVID N. BOCK
ASS'T. CHIEF OF DEPARTMENT



VINCENT A. CIANCI, JR.
MAYOR

JOHN J. PARTINGTON
COMMISSIONER

Department of Public Safety, Fire Department
"Building Pride In Providence"

MEMORANDUM

TO: *Councilman Robert M. Clarkin*
Chairman
Committee on Public Works

FROM: *Gary E. Mulcahy*
Acting Assistant Chief of Department

GEM

DATE: *July 12, 2000*

SUBJECT: *PETITION – MOSES BROWN SCHOOL*

Attached please find a copy of the memorandum dated July 6, 2000 concerning a petition from Moses Brown School. This Department has no objection to this petition only if the proposed construction of a new driveway and on-campus parking does not restrict access to emergency vehicles. The Providence Fire Department would object to any traffic-calming device which would inhibit or delay apparatus response time.

GEM/rh
Attachment

James F. Rattigan
Chief of Department

David D. Costa
Fire Marshal



Vincent A. Cianci Jr.
Mayor

John J. Partington
Commissioner

PROVIDENCE FIRE PREVENTION DIVISION
"Smoke Detectors Save Lives"

July 3, 2000

Chairman Robert M. Clarkin
Committee on Public Works
City Hall
Providence, RI 02903

Re: Permission to Install a New Traffic Island at Hope/Thayer/ Barnes Intersection

Dear Chairman Clarkin,

The Fire Department has expressed concern and objections in the past on any proposal that may restrict or slow response by fire apparatus. After review of the proposal to install a new traffic island at the intersection of Hope, Thayer, and Barnes Streets (see attached), the Fire Department needs additional information that includes a plan showing exactly what will be installed and the results of the traffic study before a recommendation can be made.

Respectfully,

David D. Costa
Fire Marshal

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SECTION 12. Petitioner shall comply with all conditions contained herein not later than sixty (60) days from its approval. Upon failure to so comply for any reason, the within resolution shall automatically become a nullity.

A true copy,
Attest:

Michael R. Clement

Michael R. Clement
City Clerk

RECEIVED FOR RECORD
Doc: 4 0 7 52
Barbara A. Jancy
NOTING RECORDER OF DEEDS

4451/183,184

PROVIDENCE, R.I.
RECEIVED FOR RECORD

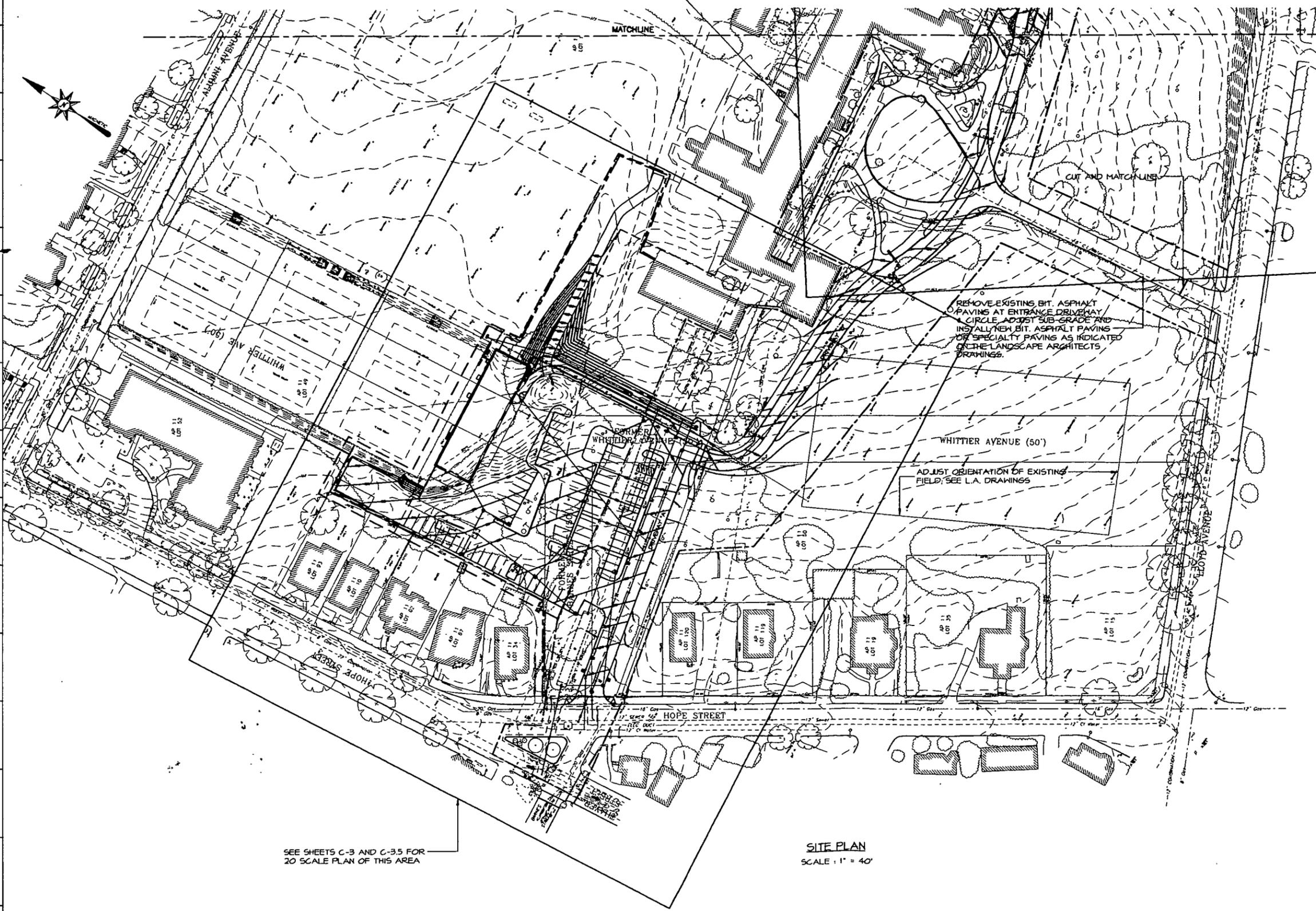
2000 AUG 30 2:52

BARBARA A. TRONCY
ACTING RECORDER OF DEEDS

36045

C

SEE SHEETS C-4 AND C-4.5 FOR
20 SCALE PLAN OF THIS AREA



REMOVE EXISTING BIT. ASPHALT PAVING AT ENTRANCE DRIVEWAY & CIRCLE. ADJUST SUB-GRADE AND INSTALL NEW BIT. ASPHALT PAVING OF SPECIALTY PAVING AS INDICATED ON THE LANDSCAPE ARCHITECTS DRAWINGS.

ADJUST ORIENTATION OF EXISTING FIELD; SEE L.A. DRAWINGS

SEE SHEETS C-3 AND C-3.5 FOR
20 SCALE PLAN OF THIS AREA

SITE PLAN
SCALE: 1" = 40'

NOTE: TOPOGRAPHIC AND UTILITY DATA PROVIDED BY WATERMAN ENG. CO.

DRAWING INDEX

- C-1 SITE PLAN 1
- C-2 SITE PLAN 2
- C-3 WEST PARKING AND DRIVEWAY ENTRANCE DRAINAGE & UTILITIES
- C-3.5 WEST PARKING AND DRIVEWAY ENTRANCE DRAINAGE & UTILITIES
- C-4 EAST PARKING AND DRIVEWAY ENTRANCE DRAINAGE & UTILITIES
- C-4.5 EAST PARKING AND DRIVEWAY ENTRANCE DRAINAGE & UTILITIES
- C-5 STRIPING AND SIGN LAYOUT
- C-6 ACCESS DRIVEWAY PROFILE
- C-7 DETAILS
- C-8 DETAILS
- L-1 WEST MATERIALS PLAN
- L-2 EAST LANDSCAPE AND MATERIALS PLAN
- L-3 WEST PLANTING PLAN
- L-4 EAST PLANTING PLAN
- L-5 TREE PROTECTION AND TREE DEMOLITION PLAN
- L-6 LANDSCAPE AND MATERIALS DETAILS
- L-7 LANDSCAPE AND MATERIALS DETAILS

6/16/00 GENERAL REVISIONS
4/24/00 RELEASED FOR PERMITTING/BIDDING

RHINEBECK
ARCHITECTURE & PLANNING P.C.

21 East Market Street Rhinebeck, New York 12572
Tel 914 876-2832 Fax 914 876-2885
E-Mail Rhinebeck@aol.com

CAPUTO AND WICK LTD.
1150 PAWTUCKET AVE.
RINDFORD, R.I. 02916

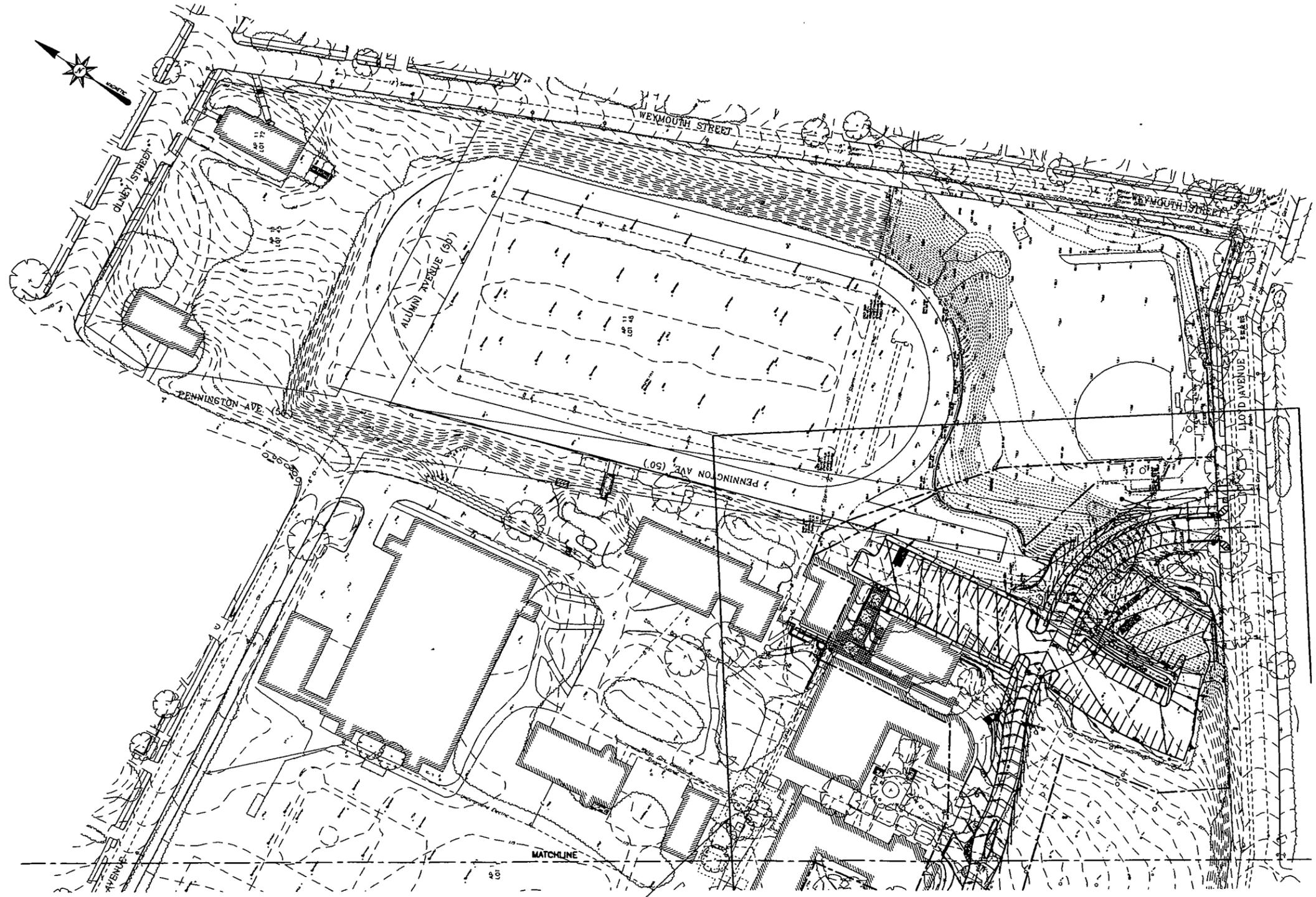
DRIVEWAY AND PARKING IMPROVEMENTS
MOSES BROWN SCHOOL

Providence Rhode Island
Drawing Title:

SITE PLAN 1

Key Plan:

C-1
Drawing Number



LEGEND

- PROPOSED CURB
- PROPOSED GRADE
- - - EXIST. GRADE
- 1/14 SPOT GRADE
- 17' DRAB
- L x 20" 5 x 0.0055 PROPOSED UTILITY LINE W/ DESIG.
- ⊕ PROPOSED CATCH BASIN
- EXISTING TREE
- ⊕ TEST PIT LOCATION
- PROPOSED GAS
- PROPOSED WATER
- - - EXIST. WATER
- FENCE
- PROPOSED SAN SEWER
- - - TEMPORARY FENCE
- PROJECT LIMIT LINE
- LP LIGHT POLE
- ⊕ BOULDER
- ▭ RETENTION TANK

Revisions

6/16/00	GENERAL REVISIONS
4/14/00	RELEASED FOR PERMITTING/BIDDING


RHINEBECK
 ARCHITECTURE & PLANNING P.C.
 21 East Market Street
 Rhinebeck, New York 12571
 Tel 914 876-2832 Fax 914 876-2885
 E-mail Rhinebeck@aol.com

CAPUTO AND WICK LTD.
 1150 PAWTUCKET AVE
 BURLINGTON, R.I. 02916

DRIVEWAY AND PARKING IMPROVEMENTS
 MOSES BROWN SCHOOL
 Providence Rhode Island

Drawing Title:
SITE PLAN 2

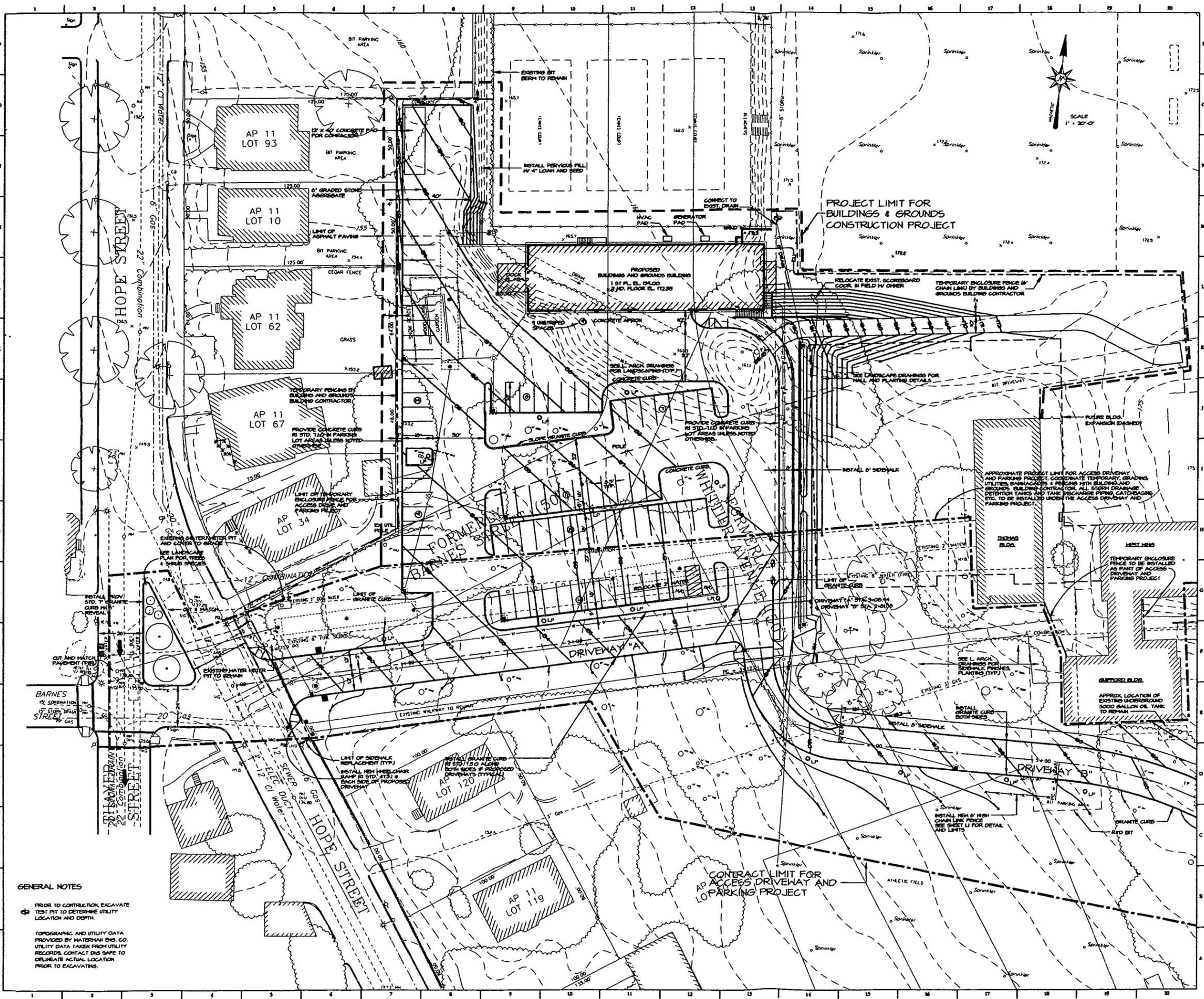
Key Plan:


Author	Checked	Scale
Drawn	Reviewed	Scale
Scale	Scale	Scale
C-2		
Drawing Number		

SEE SHEETS C-4 AND C-5 FOR 20 SCALE PLAN OF THIS AREA

SITE PLAN
 SCALE: 1" = 40'

NOTE: TOPOGRAPHIC AND UTILITY DATA PROVIDED BY WATERMAN ENG. CO.



GENERAL NOTES

☛ PRIOR TO CONSTRUCTION EXCAVATE TEST PIT TO DETERMINE UTILITY LOCATION AND DEPTH.

TOPOGRAPHIC AND UTILITY DATA PROVIDED BY WATERMAN ENG. CO. UTILITY DATA TAKEN FROM UTILITY RECORDS. CONTRACTOR IS SAFE TO DELINEATE ACTUAL LOCATION PRIOR TO EXCAVATING.

Revision:	
6/16/00	GENERAL REVISIONS
5/16/00	CLARIFICATION FOR BID PROCESS
4/24/00	RELEASED FOR BIDDING/PERMITTING

RHINEBECK
ARCHITECTURE & PLANNING P.C.

21 East Market Street
Rhinebeck, New York 12572
Tel 914 876-2832 Fax 914 876-2885
E-Mail: Rhinebeck@aol.com

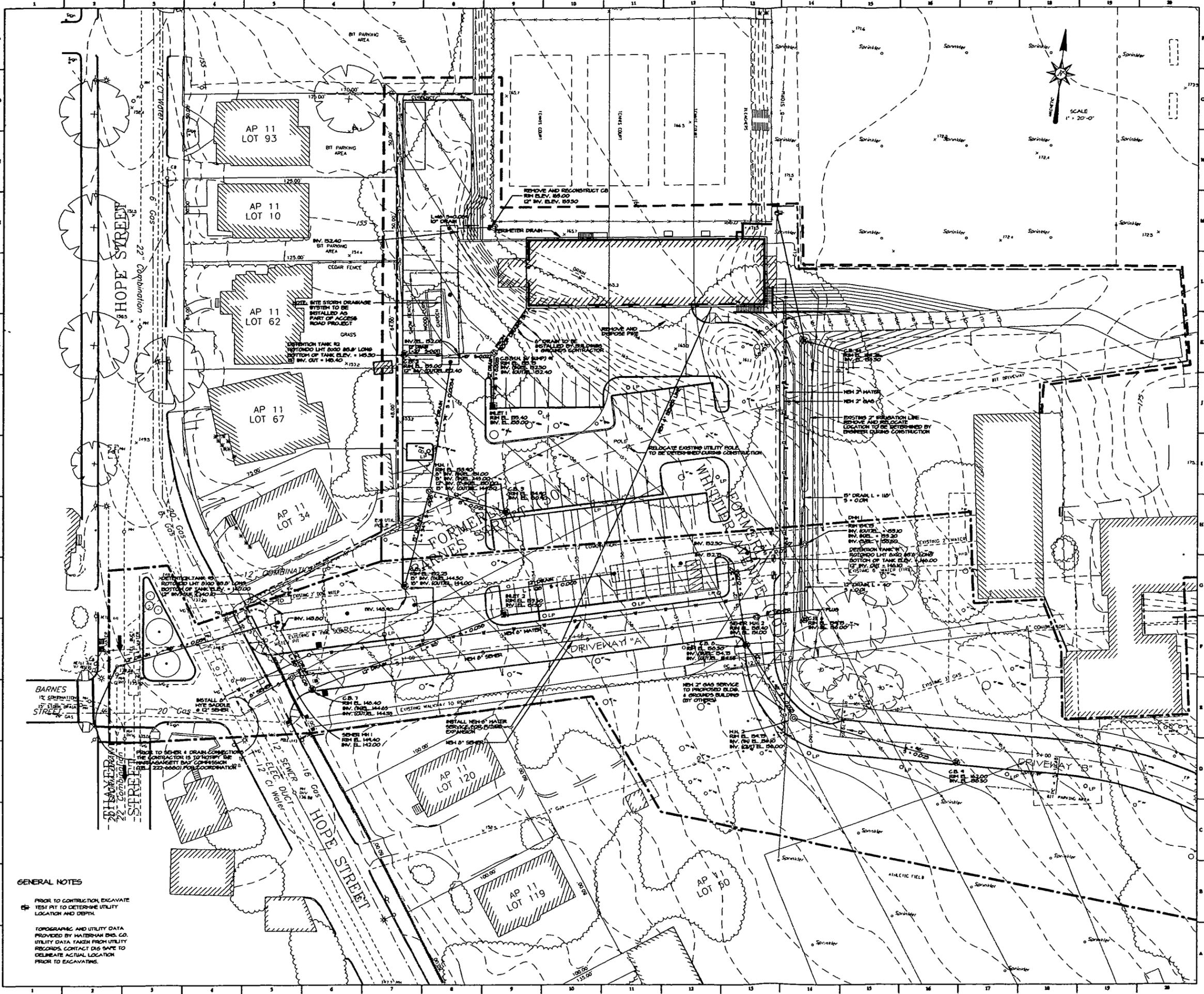
CAPUTO AND WICK LTD.
1150 PAWTUCKET AVE.
BLIMPORD, R.I. 02916

DRIVEWAY AND PARKING IMPROVEMENTS
MOSES BROWN SCHOOL

Providence Rhode Island

Drawing Title:
WEST PARKING AREA AND DRIVEWAY ENTRANCE
SCALE: 1" = 20'-0"
Key Plan:

Scale:	1" = 20'-0"
Sheet:	C-3
Block:	
Drawing Number:	



GENERAL NOTES

PRIOR TO CONSTRUCTION EXCAVATE TEST PIT TO DETERMINE UTILITY LOCATION AND DEPTH.

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6/16/00	GENERAL REVISIONS
3/16/00	CLARIFICATION FOR BID PROCESS
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8-9648 Rhinebeck@aol.com

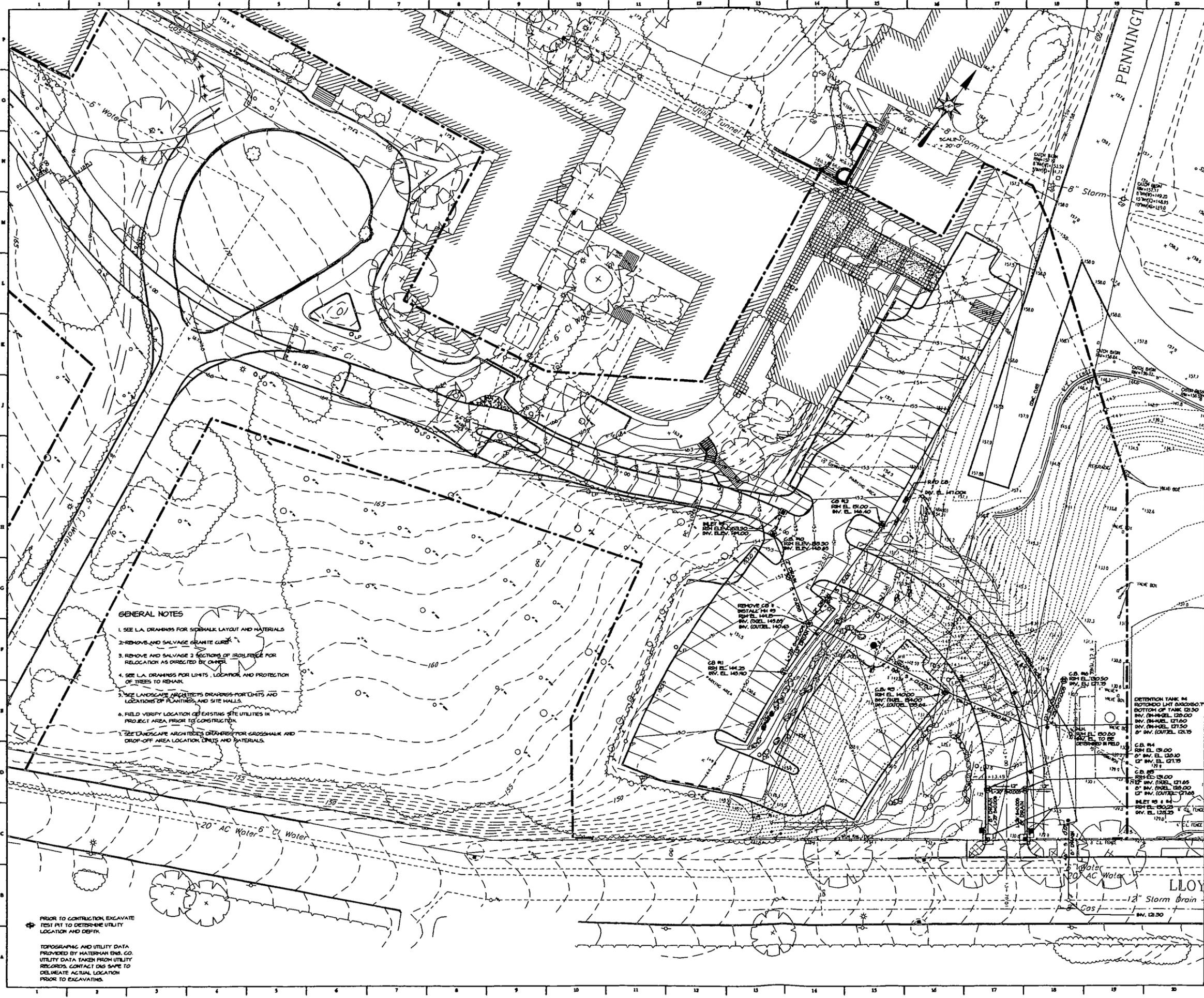
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DRIVEWAY AND PARKING IMPROVEMENTS
MOSES BROWN SCHOOL

Providence Rhode Island

Drawing Title:
WEST PARKING AREA DRAINAGE AND UTILITIES
SCALE: 1" = 20'-0"
Key Plan:

Scale	1" = 20'-0"
North Arrow	North
Sheet No.	C-3.5
Drawing Number	



GENERAL NOTES

1. SEE L.A. DRAWINGS FOR SIDEWALK LAYOUT AND MATERIALS
2. REMOVE AND SALVAGE GRANITE CURBS
3. REMOVE AND SALVAGE 3 SECTIONS OF IRON PIPE FOR RELOCATION AS DIRECTED BY OWNER
4. SEE L.A. DRAWINGS FOR LIMITS, LOCATION AND PROTECTION OF TREES TO REMAIN
5. SEE LANDSCAPE ARCHITECT'S DRAWINGS FOR LIMITS AND LOCATIONS OF PLANTINGS AND SITE WALLS
6. FIELD VERIFY LOCATION OF EXISTING SITE UTILITIES IN PROJECT AREA PRIOR TO CONSTRUCTION
7. SEE LANDSCAPE ARCHITECT'S DRAWINGS FOR GROSSWALK AND DROP-OFF AREA LOCATION, LIMITS AND MATERIALS

⊕ PRIOR TO CONSTRUCTION EXCAVATE TEST PIT TO DETERMINE UTILITY LOCATION AND DEPTH

TOPOGRAPHIC AND UTILITY DATA PROVIDED BY WATERMAN ENG. CO. UTILITY DATA TAKEN FROM UTILITY RECORDS. CONTACT DWS SAME TO DELINEATE ACTUAL LOCATION PRIOR TO EXCAVATING.

Revisions:	
6/16/00	GENERAL REVISIONS
4/24/00	RELEASED FOR BIDDING/PERMITTING


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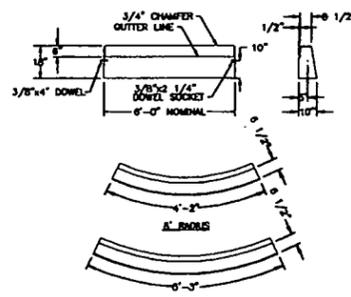
CAPUTO AND WICK LTD.
 1150 PAWTUCKET AVE.
 BLIMPORD, R.I. 02916

DRIVEWAY AND PARKING IMPROVEMENTS
 MOSES BROWN SCHOOL
 Providence Rhode Island

Drawing Title:
EAST PARKING AREA DRAINAGE AND UTILITIES
 SCALE: 1" = 20'-0"

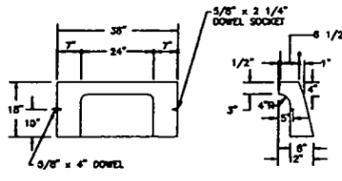
Key Plan:

Scale:	1" = 20'-0"
Drawing Number:	C-4.5



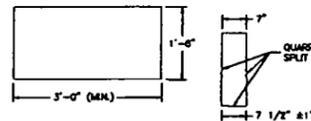
- GENERAL NOTES:**
1. MAXIMUM LENGTHS USING 8" & 10" RADII WITH A 90° ANGLE ARE 4'-2" & 5'-3" RESPECTIVELY.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FULLER PIECES TO BE 4'-0".
 3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
 4. CIRCULAR CURB IS REQUIRED ON CURVES WITH A RADIUS OF 160' OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN A 160' RADIUS.
 5. CONCRETE CLASS "B" A/E (MINIMUM STANDARD).

PRECAST CONCRETE CURB
NOT TO SCALE



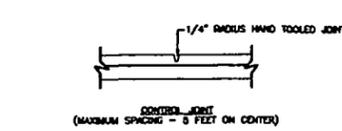
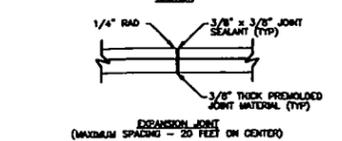
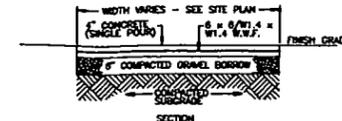
- GENERAL NOTES:**
1. ALL EXPOSED EDGES SHALL HAVE A 3/4" CHAMFER.
 2. THE TOP AND ALL EXPOSED FACE SURFACES TO 1" BELOW THE OUTER LINE SHALL HAVE A SPONGE FLOAT SURFACE.
 3. NO REINFORCEMENT REQUIRED.

PRECAST CONCRETE APRON STONE
(FOR ROUND CATCH BASIN)
NOT TO SCALE

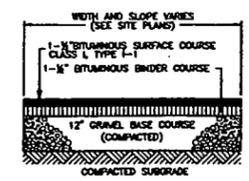


- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 805 OF THE B.I. STANDARD SPECIFICATIONS.
 2. TOP SURFACE TO BE DRESSED BY SAIL REMOVED TO BE QUARRY SPLIT.
 3. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR PIECES TO BE 3'-0".
 4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADIUS OF 100'-0" OR LESS, OR LESS STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 100'-0" RADIUS.

GRANITE CURB
NOT TO SCALE

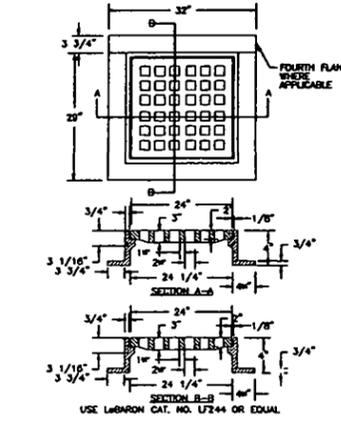


CONCRETE SIDEWALK DETAIL
NOT TO SCALE

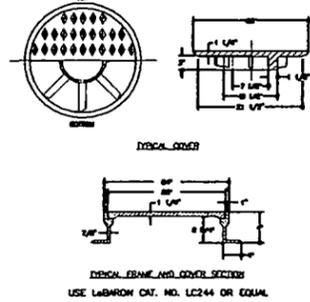


- NOTE:**
ALL LOOSE TOPSOIL, SUBSOIL, ROOTS OR ANY OTHER UNDESIRABLE MATERIALS SHALL BE REMOVED FROM WITHIN OF LIMITS OF PAVEMENT. REMOVED MATERIAL SHALL BE REPLACED WITH CLEAN GRANULAR FILL PLACE IN 12" MAXIMUM LIFTS AND SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY.

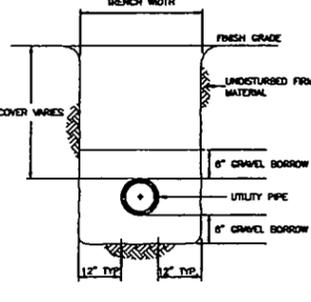
BITUMINOUS CONCRETE PAVEMENT DETAIL
NOT TO SCALE



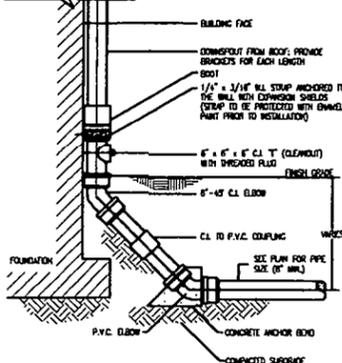
SQUARE CATCH BASIN FRAME & GRATE COVER
NOT TO SCALE



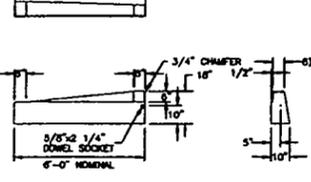
ROUND MANHOLE FRAME AND COVER (HEAVY DUTY)
NOT TO SCALE



UTILITY TRENCH DETAIL
NOT TO SCALE

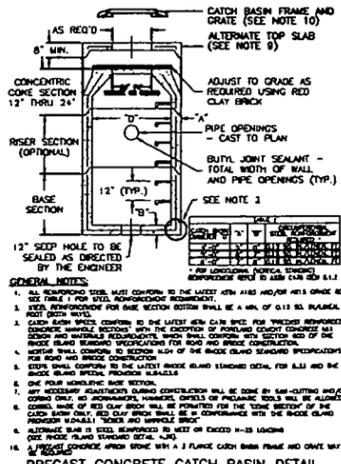


DOWNSPOUT DETAIL
NOT TO SCALE

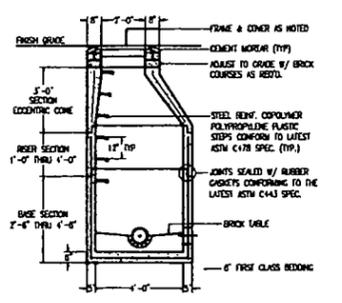


- NOTES:**
1. CONSTRUCTION AND MATERIALS FOR TRANSITION CURB SHALL CONFORM TO SECTION 805.
 2. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION. FOR OTHER DIRECTION USE OPPOSITE HAND.

PRECAST CEMENT CONCRETE TRANSITION CURB
(STRAIGHT AND CIRCULAR)
NOT TO SCALE

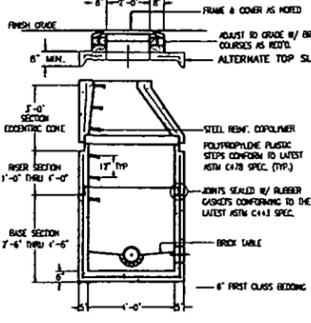


PRECAST CONCRETE CATCH BASIN DETAIL
NOT TO SCALE



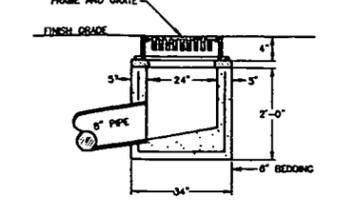
- GENERAL NOTES:**
1. REIN. STEEL TO CONFORM WITH LATEST ASTM A 185.
 2. PRECAST CONCRETE TO CONFORM WITH ASTM C478 FOR 'PRECAST REINFORCED CONCRETE MANHOLE SECTIONS'.
 3. CONCRETE COMPRESSIVE STRENGTH - 4000 PSI MINIMUM.

SANITARY SEWER MANHOLE DETAIL
NOT TO SCALE

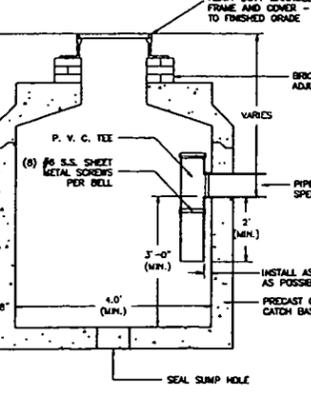


- GENERAL NOTES:**
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 2. PRECAST CONCRETE TO CONFORM WITH ASTM C478 FOR 'PRECAST REINFORCED CONCRETE MANHOLE SECTIONS'.
 3. CONCRETE COMPRESSIVE STRENGTH - 4000 PSI MINIMUM.

STORM DRAIN MANHOLE DETAIL
NOT TO SCALE



PRECAST CONCRETE DROP INLET
NOT TO SCALE



OIL/WATER SEPARATOR CATCH BASIN
NOT TO SCALE

Revisions

RHINEBECK
ARCHITECTURE & PLANNING P.C.

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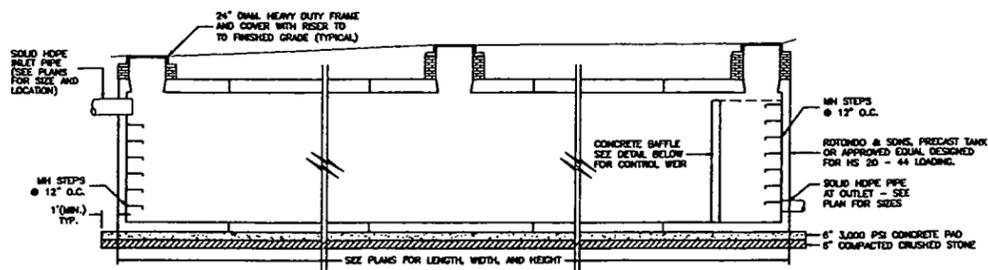
DRIVEWAY AND PARKING IMPROVEMENTS
MOSES BROWN SCHOOL

Providence Rhode Island

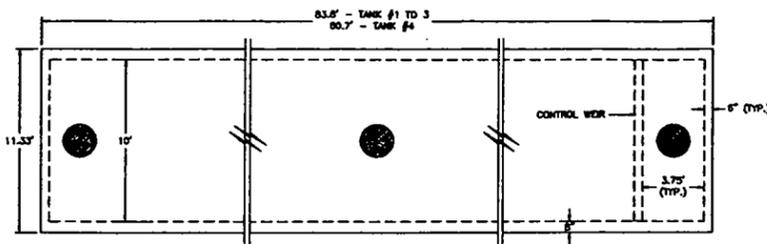
Drawing Title:
EAST PARKING AREA AND DRIVEWAY ENTRANCE

Key Plan:

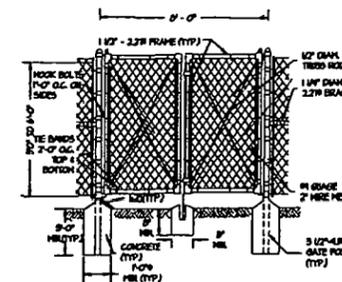
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Drawn by							
Checked by							
Scale							



TYPICAL STORMWATER DETENTION TANK DETAIL
SCALE 1" = 4'

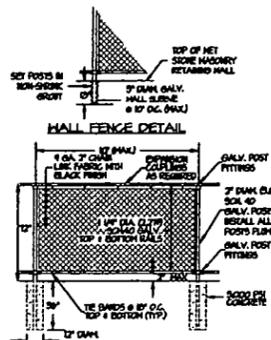


DETENTION TANK
SCALE 1" = 4'



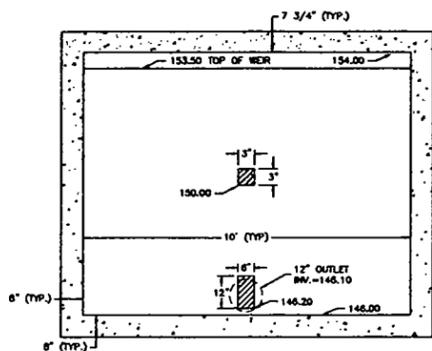
- NOTES:
- 1) SHALL BE IN ACCORDANCE WITH SECTION 402 OF THE R.I. STANDARD SPECIFICATIONS.
 - 2) 8 GAUGE STREET CLIPS TO BE USED TO FASTEN SPRING TENSION WIRE TO LINE POSTS.
 - 3) SPRING TENSION WIRE - NO. 1 GANSE CORRELATED HEAVILY GALVANIZED CO. GAL. PER SQUARE FOOT ALUMINUM COATED 64 OZ. GAL. PER SQUARE FOOT.
 - 4) ALL PIPES REFER TO SCHEDULE 40 NOMINAL PIPE SIZES.

FENCE ELEVATION WITH DOUBLE GATE DETAIL
NOT TO SCALE

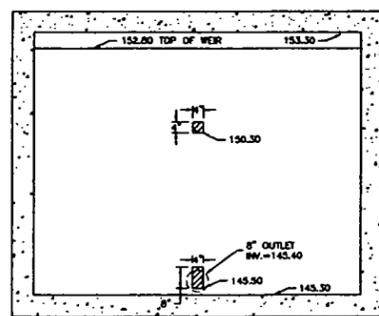


- NOTE:
- POSTS, RAILS AND FRAMING TO HAVE A BLACK FINISH

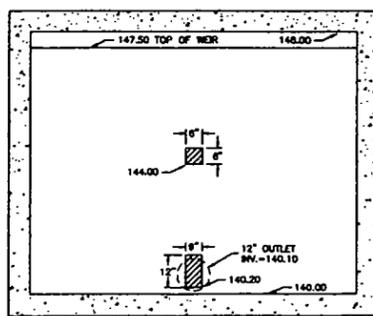
CHAIN LINK FENCE DETAIL
NOT TO SCALE



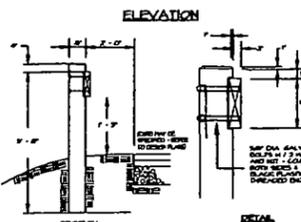
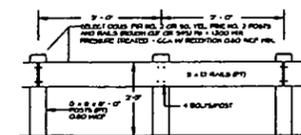
TANK #1-CONTROL WEIR
SCALE 1/2" = 1'-0"



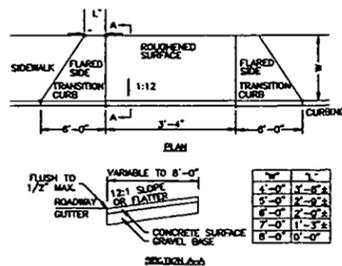
TANK #2-CONTROL WEIR
SCALE 1/2" = 1'-0"



TANK #3-CONTROL WEIR
SCALE 1/2" = 1'-0"

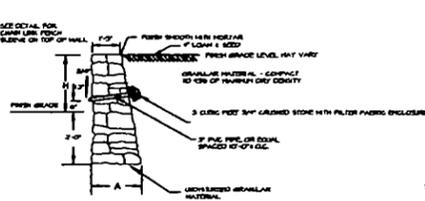


HOOD GUARDRAIL DETAILS
NOT TO SCALE



- NOTES:
1. THE DIMENSIONS SHOWN AT THE ROADWAY EDGE ARE FIXED DISTANCES, SURFACE AND FOUNDATION.
 2. RAMP CROSS SECTION TO BE SAME AS ADJACENT SIDEWALK.
 3. PORTLAND CEMENT CONCRETE RAMP ARE TO BE TEXTURED BY BROOMING IN A DIRECTION PARALLEL TO THE LENGTH OF THE RAMP.
 4. IN NO CASE ARE THE RAMP TO BE PLACED BEHIND THE STOP LINE.
 5. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE RAMPED TO MEET THE GRADE OF THE DRIVEWAY.

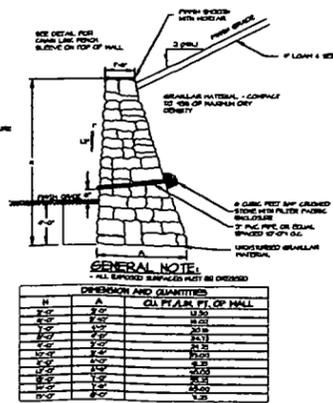
HANDICAPPED RAMP DETAIL
NOT TO SCALE



- GENERAL NOTE:
- 1) ALL EXPOSED SURFACES MUST BE CURBED
- 2) ALL LOCAL AROUND TOP SURFACE REDUCED TO 1/4\"/>

DIMENSION AND QUANTITIES		
H	A	CU FT. ALN. FT. OF WALL
2'-0"	3'-0"	12.00
3'-0"	3'-0"	27.00
4'-0"	3'-0"	48.00
5'-0"	3'-0"	75.00
6'-0"	3'-0"	108.00
7'-0"	3'-0"	147.00
8'-0"	3'-0"	192.00

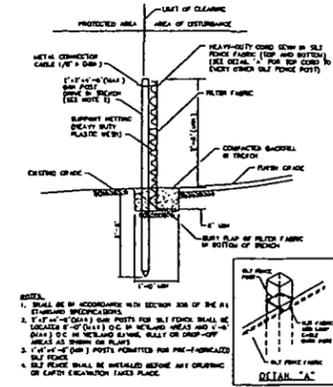
NET STONE MASONRY RETAINING WALL
MAXIMUM HEIGHT - 4'-0"
NOT TO SCALE



- GENERAL NOTE:
- 1) ALL EXPOSED SURFACES MUST BE CURBED
- 2) ALL LOCAL AROUND TOP SURFACE REDUCED TO 1/4\"/>

DIMENSION AND QUANTITIES		
H	A	CU FT. ALN. FT. OF WALL
2'-0"	3'-0"	12.00
3'-0"	3'-0"	27.00
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5'-0"	3'-0"	75.00
6'-0"	3'-0"	108.00
7'-0"	3'-0"	147.00
8'-0"	3'-0"	192.00

NET STONE MASONRY RETAINING WALL
MAXIMUM HEIGHT - 4'-0"
NOT TO SCALE



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 305 OF THE R.I. STANDARD SPECIFICATIONS.
 2. 1/2\"/>
 - 3. 1/2\"/>
 - 4. SILT FENCE SHALL BE INSTALLED BEFORE ANY GRADING OR EARTH EXCAVATION TAKES PLACE.

SILT FENCE DETAIL
NOT TO SCALE

Revisions

4/24/00 RELEASED FOR PERMITTING/BIDDING

RHINEBECK
ARCHITECTURE & PLANNING P.C.

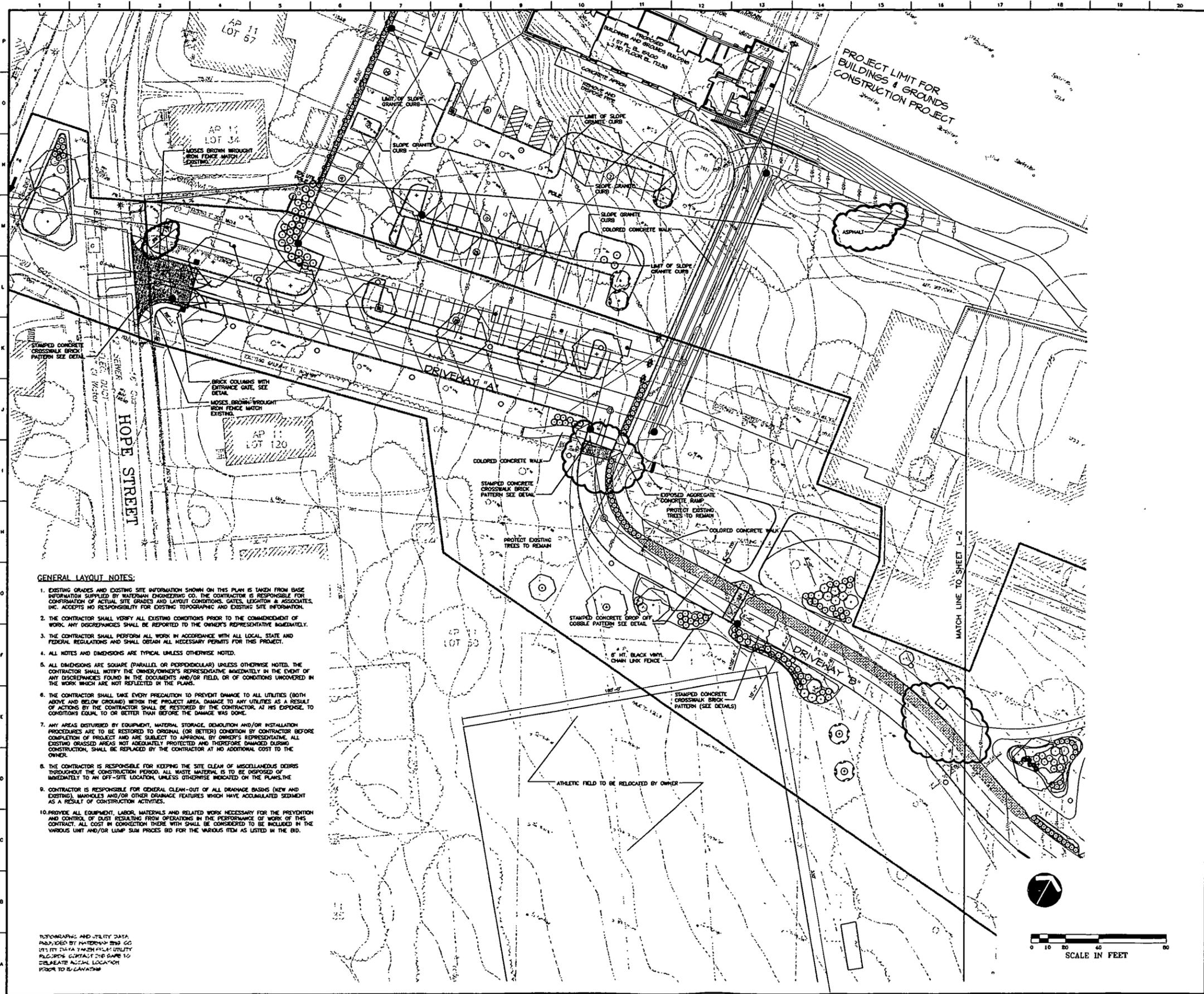
21 Bank Market Street
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DRIVEWAY AND PARKING IMPROVEMENTS
MOSES BROWN SCHOOL
Providence Rhode Island

Drawing Title:
EAST PARKING AREA AND DRIVEWAY ENTRANCE

Key Plan:



- GENERAL LAYOUT NOTES:**
- EXISTING GRADES AND EXISTING SITE INFORMATION SHOWN ON THIS PLAN IS TAKEN FROM BASE INFORMATION SUPPLIED BY WATERMAN ENGINEERING CO. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMATION OF ACTUAL SITE GRADES AND LAYOUT CONDITIONS. GATES, LEIGHTON & ASSOCIATES, INC. ACCEPTS NO RESPONSIBILITY FOR EXISTING TOPOGRAPHIC AND EXISTING SITE INFORMATION.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
 - THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS AND SHALL OBTAIN ALL NECESSARY PERMITS FOR THIS PROJECT.
 - ALL NOTES AND DIMENSIONS ARE TYPICAL UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS ARE SQUARE (PARALLEL OR PERPENDICULAR) UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY THE OWNER/OWNER'S REPRESENTATIVE IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE DOCUMENTS AND/OR FIELD, OR OF CONDITIONS UNCOVERED IN THE WORK WHICH ARE NOT REFLECTED IN THE PLANS.
 - THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PREVENT DAMAGE TO ALL UTILITIES (BOTH ABOVE AND BELOW GROUND) WITHIN THE PROJECT AREA. DAMAGE TO ANY UTILITIES AS A RESULT OF ACTIONS BY THE CONTRACTOR SHALL BE RESTORED BY THE CONTRACTOR, AT HIS EXPENSE, TO CONDITIONS EQUAL TO OR BETTER THAN BEFORE THE DAMAGE WAS DONE.
 - ANY AREAS DISTURBED BY EQUIPMENT, MATERIAL STORAGE, DEMOLITION AND/OR INSTALLATION PROCEDURES ARE TO BE RESTORED TO ORIGINAL (OR BETTER) CONDITION BY CONTRACTOR BEFORE COMPLETION OF PROJECT AND ARE SUBJECT TO APPROVAL BY OWNER'S REPRESENTATIVE. ALL EXISTING GRASSES ARE NOT ADEQUATELY PROTECTED AND THEREFORE DAMAGED DURING CONSTRUCTION, SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE SITE CLEAN OF MISCELLANEOUS DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. ALL WASTE MATERIAL IS TO BE DISPOSED OF IMMEDIATELY TO AN OFF-SITE LOCATION, UNLESS OTHERWISE INDICATED ON THE PLANS.
 - CONTRACTOR IS RESPONSIBLE FOR GENERAL CLEAN-OUT OF ALL DRAINAGE BASINS (NEW AND EXISTING), MANHOLES AND/OR OTHER DRAINAGE FEATURES WHICH HAVE ACCUMULATED SEDIMENT AS A RESULT OF CONSTRUCTION ACTIVITIES.
 - PROVIDE ALL EQUIPMENT, LABOR, MATERIALS AND RELATED WORK NECESSARY FOR THE PREVENTION AND CONTROL OF DUST RESULTING FROM OPERATIONS IN THE PERFORMANCE OF WORK OF THIS CONTRACT. ALL COST IN CONNECTION THERE WITH SHALL BE CONSIDERED TO BE INCLUDED IN THE VARIOUS UNIT AND/OR LUMP SUM PRICES BID FOR THE VARIOUS ITEM AS LISTED IN THE BID.

TOPOGRAPHIC AND UTILITY DATA PROVIDED BY WATERMAN ENGINEERING CO. ALL UTILITY DATA TAKEN FROM UTILITY RECORDS. CONTACT THE SAME TO DETERMINE ACTUAL LOCATION PRIOR TO CONSTRUCTION.

Revisions:

REVISED 4/18/00

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Gates, Leighton & Associates, Inc.
LANDSCAPE ARCHITECTURE

DRIVEWAY AND PARKING IMPROVEMENTS
MOSES BROWN SCHOOL

Providence Rhode Island

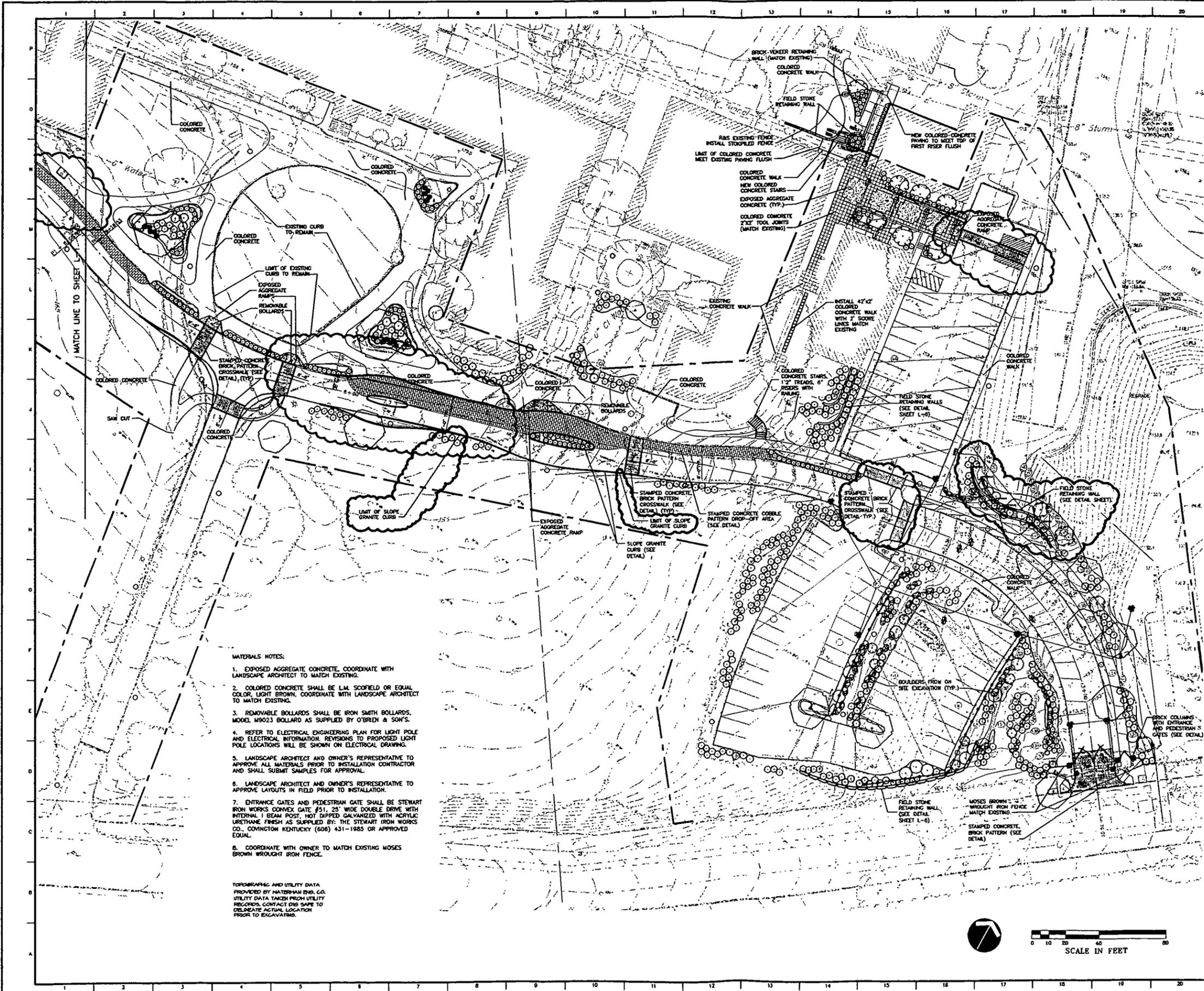
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WEST MATERIALS PLAN

Key Plan:

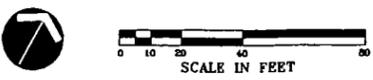
L-1

Sheet Number



- MATERIALS NOTES:**
1. EXPOSED AGGREGATE CONCRETE, COORDINATE WITH LANDSCAPE ARCHITECT TO MATCH EXISTING.
 2. COLORED CONCRETE SHALL BE L.M. SCOFIELD OR EQUAL COLOR, LIGHT BROWN, COORDINATE WITH LANDSCAPE ARCHITECT TO MATCH EXISTING.
 3. REMOVABLE BOLLARDS SHALL BE IRON SMITH BOLLARDS, MODEL M9023 BOLLARD AS SUPPLIED BY O'BRIEN & SON'S.
 4. REFER TO ELECTRICAL ENGINEERING PLAN FOR LIGHT POLE AND ELECTRICAL INFORMATION. REVISIONS TO PROPOSED LIGHT POLE LOCATIONS WILL BE SHOWN ON ELECTRICAL DRAWING.
 5. LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE TO APPROVE ALL MATERIALS PRIOR TO INSTALLATION CONTRACTOR AND SHALL SUBMIT SAMPLES FOR APPROVAL.
 6. LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE TO APPROVE LAYOUTS IN FIELD PRIOR TO INSTALLATION.
 7. ENTRANCE GATES AND PEDESTRIAN GATE SHALL BE STEWART IRON WORKS CONVEX GATE #51, 23' WIDE DOUBLE DRIVE WITH INTERNAL I BEAM POST, HOT DIPPED GALVANIZED WITH ACRYLIC URETHANE FINISH AS SUPPLIED BY: THE STEWART IRON WORKS CO., COMINTON KENTUCKY (606) 431-1985 OR APPROVED EQUAL.
 8. COORDINATE WITH OWNER TO MATCH EXISTING MOSES BROWN WROUGHT IRON FENCE.

TOPOGRAPHIC AND UTILITY DATA PROVIDED BY WATERMAN ENG. CO. UTILITY DATA TAKEN FROM UTILITY RECORDS. CONTACT D&B SAPE TO DELINEATE ACTUAL LOCATION PRIOR TO EXCAVATING.



Revisions:

REVISED 6/16/00

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LANDSCAPE ARCHITECTURE
200 Main St., Providence, R.I. 02903

DRIVEWAY AND PARKING IMPROVEMENTS
MOSES BROWN SCHOOL

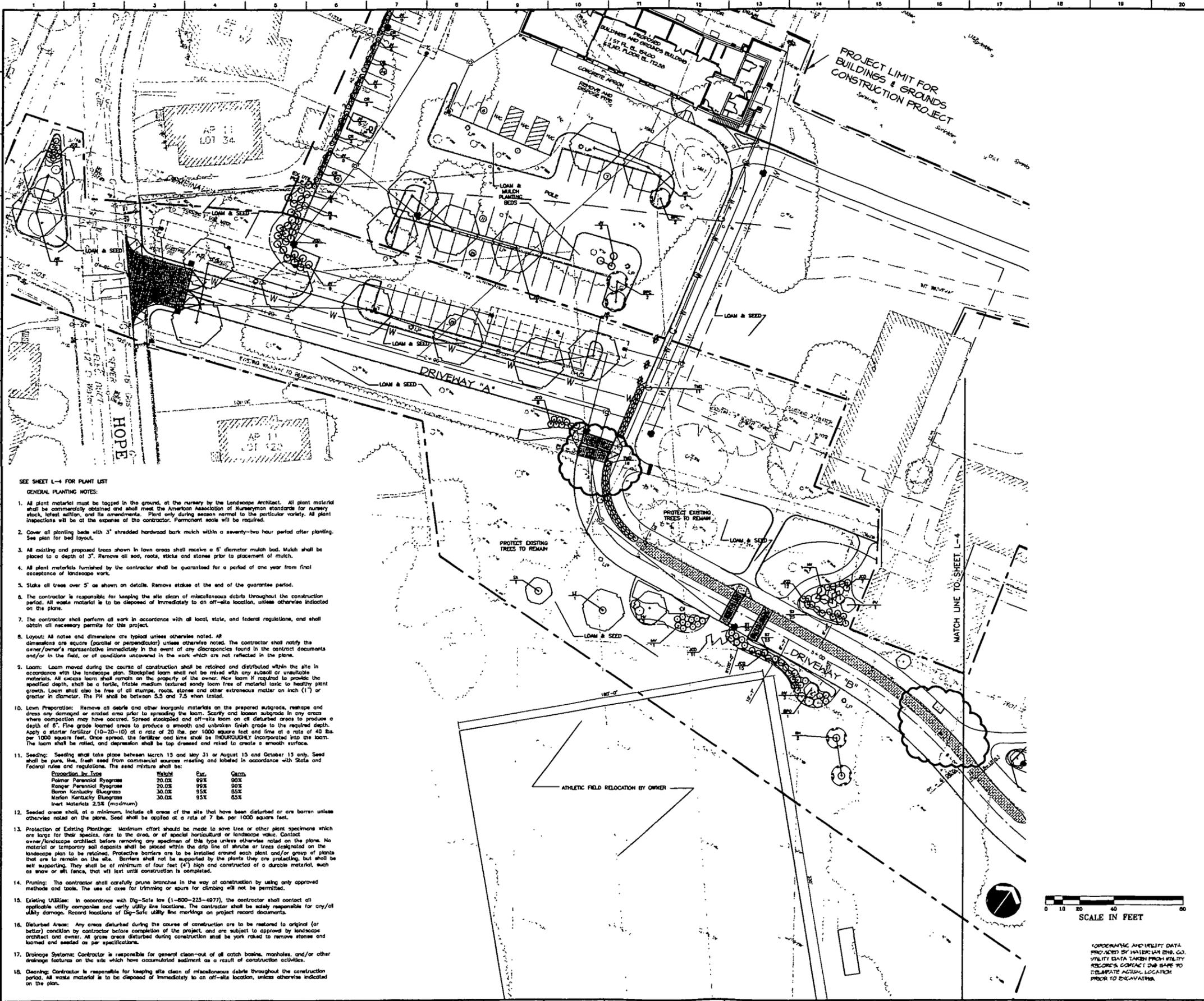
Providence Rhode Island

Drawing Title:

EAST LANDSCAPE AND MATERIALS PLAN

Key Plan:

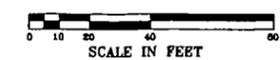
Sheet: **L-2**



- SEE SHEET L-4 FOR PLANT LIST
- GENERAL PLANTING NOTES:
- All plant material must be tagged in the ground, at the nursery by the Landscape Architect. All plant material shall be commercially obtained and shall meet the American Association of Nurserymen standards for nursery stock, latest edition, and its amendments. Plant only during season normal to the particular variety. All plant inspections will be at the expense of the contractor. Permanent soils will be required.
 - Cover all planting beds with 3" shredded hardwood bark mulch within a seventy-two hour period after planting. See plan for bed layout.
 - All existing and proposed trees shown in lawn areas shall receive a 6" diameter mulch bed. Mulch shall be placed to a depth of 3". Remove all sod, roots, sticks and stones prior to placement of mulch.
 - All plant materials furnished by the contractor shall be guaranteed for a period of one year from final acceptance of landscape work.
 - Stake all trees over 3" as shown on details. Remove stakes at the end of the guarantee period.
 - The contractor is responsible for keeping the site clean of miscellaneous debris throughout the construction period. All waste material is to be disposed of immediately to an off-site location, unless otherwise indicated on the plans.
 - The contractor shall perform all work in accordance with all local, state, and federal regulations, and shall obtain all necessary permits for this project.
 - Layout: All notes and dimensions are typical unless otherwise noted. All dimensions are square (parallel or perpendicular) unless otherwise noted. The contractor shall notify the owner/owner's representative immediately in the event of any discrepancies found in the contract documents and/or in the field, or of conditions uncovered in the work which are not reflected in the plans.
 - Loam: Loam moved during the course of construction shall be retained and distributed within the site in accordance with the landscape plan. Stockpiled loam shall not be mixed with any subsoil or unsuitable materials. All excess loam shall remain on the property of the owner. New loam if required to provide the specified depth, shall be a fertile, friable medium textured sandy loam free of material toxic to healthy plant growth. Loam shall also be free of all stumps, roots, stones and other extraneous matter an inch (1") or greater in diameter. The PH shall be between 5.5 and 7.5 when tested.
 - Lawn Preparation: Remove all debris and other inorganic materials on the prepared subgrade, reshape and dress any damaged or eroded areas prior to spreading the loam. Scarify and loosen subgrade in any areas where compaction may have occurred. Spread stockpiled and off-site loam on all disturbed areas to produce a depth of 6". Fine grade loamed areas to produce a smooth and unbroken finish grade to the required depth. Apply a starter fertilizer (10-20-10) at a rate of 20 lbs. per 1000 square feet and lime at a rate of 40 lbs. per 1000 square feet. Once spread, the fertilizer and lime shall be THOROUGHLY incorporated into the loam. The loam shall be rolled, and depression shall be top dressed and rolled to create a smooth surface.
 - Seeding: Seeding shall take place between March 15 and May 31 or August 15 and October 15 only. Seed shall be pure, live, fresh seed from commercial sources meeting and labeled in accordance with State and Federal rules and regulations. The seed mixture shall be:

Preparation Type	Weight	Pct.	Cover.
Palmier Perennial Ryegrass	20.0%	95%	90%
Ranger Perennial Ryegrass	20.0%	95%	90%
Boron Kentucky Bluegrass	30.0%	95%	85%
Marion Kentucky Bluegrass	30.0%	95%	85%

 Inert materials 2.5% (maximum)
 - Sodded areas shall, at a minimum, include all areas of the site that have been disturbed or are barren unless otherwise noted on the plans. Seed shall be applied at a rate of 7 lbs. per 1000 square feet.
 - Protection of Existing Plantings: Maximum effort should be made to save trees or other plant specimens which are large for their species, rare to the area, or of special horticultural or landscape value. Contact owner/landscape architect before removing any specimen of this type unless otherwise noted on the plans. No material or temporary soil deposits shall be placed within the drip line of shrubs or trees designated on the landscape plan to be retained. Protective barriers are to be installed around each plant and/or group of plants that are to remain on the site. Barriers shall not be supported by the plants they are protecting, but shall be self supporting. They shall be of minimum of four feet (4') high and constructed of a durable material, such as snow or silt fence, that will last until construction is completed.
 - Pruning: The contractor shall carefully prune branches in the way of construction by using only approved methods and tools. The use of axes for trimming or spurs for climbing will not be permitted.
 - Existing Utilities: In accordance with Dig-Safe law (1-800-225-4077), the contractor shall contact all applicable utility companies and verify utility line locations. The contractor shall be solely responsible for any/all utility damage. Record locations of Dig-Safe utility line markings on project record documents.
 - Disturbed Areas: Any areas disturbed during the course of construction are to be restored to original (or better) condition by contractor before completion of the project, and are subject to approval by landscape architect and owner. All areas disturbed during construction shall be rock raked to remove stones and loamed and seeded as per specifications.
 - Drainage Systems: Contractor is responsible for general clean-out of all catch basins, manholes, and/or other drainage features on the site which have accumulated sediment as a result of construction activities.
 - Cleaning: Contractor is responsible for keeping site clean of miscellaneous debris throughout the construction period. All waste material is to be disposed of immediately to an off-site location, unless otherwise indicated on the plans.



OPERATING AND UTILITY DATA PROVIDED BY WATERBURY ENG. CO. UTILITY DATA TAKEN FROM UTILITY RECORDS. CONTACT DWP SAFE TO OBTAIN UTILITY RECORDS PRIOR TO EXCAVATION.

Revisions:

REVISION	DATE	BY
REVISED	8/16/00	

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Gates, Leighton & Associates, Inc.
LANDSCAPE ARCHITECTURE

DRIVEWAY AND PARKING IMPROVEMENTS
MOSES BROWN SCHOOL

Providence Rhode Island

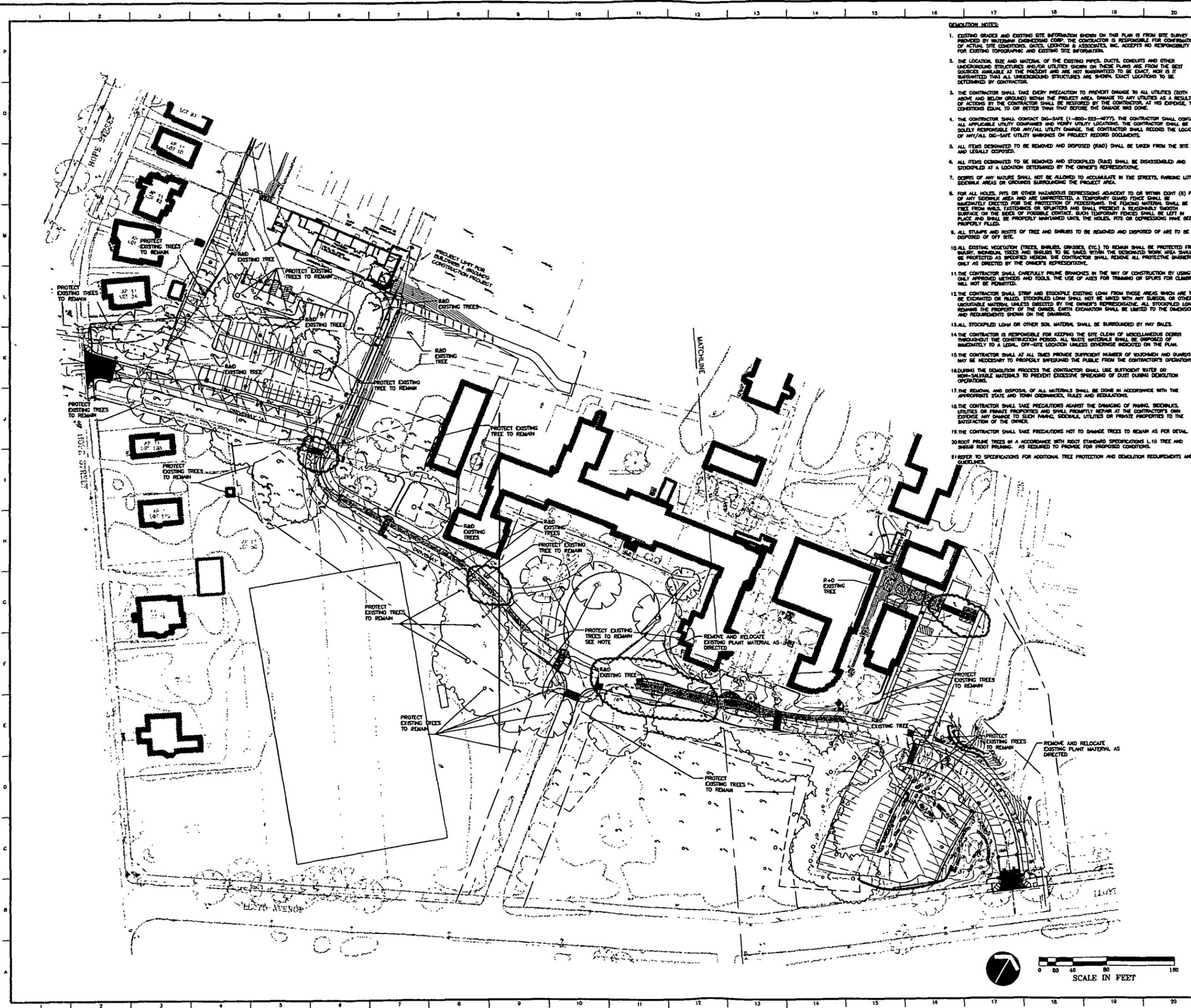
Drawing Title:
WEST PLANTING PLAN

Key Plan:

Sheet No.	Project No.
Scale	Date
Author	Checker
Designer	Plotter
Estimator	Client
EC	CL

L-3

Spot Drawing Number:



- DEMOLITION NOTES:**
- EXISTING GRADES AND EXISTING SITE INFORMATION SHOWN ON THE PLAN IS FROM SITE SURVEY PROVIDED BY WATERMAN ENGINEERING CORP. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMATION OF ACTUAL SITE CONDITIONS. GATES, LEIGHTON & ASSOCIATES, INC. ACCEPTS NO RESPONSIBILITY FOR EXISTING TOPOGRAPHIC AND EXISTING SITE INFORMATION.
 - THE LOCATION, SIZE AND MATERIAL OF THE EXISTING PIPES, DUCTS, CONDUITS AND OTHER UNDERGROUND STRUCTURES AND/OR UTILITIES SHOWN ON THESE PLANS ARE FROM THE BEST SOURCES AVAILABLE AT THE PRESENT AND ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND STRUCTURES ARE SHOWN. EXACT LOCATIONS TO BE DETERMINED BY CONTRACTOR.
 - THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PREVENT DAMAGE TO ALL UTILITIES (BOTH ABOVE AND BELOW GROUND) WITHIN THE PROJECT AREA. DAMAGE TO ANY UTILITIES AS A RESULT OF ACTIONS BY THE CONTRACTOR SHALL BE REPAIRS BY THE CONTRACTOR, AT HIS EXPENSE, TO CONDITIONS EQUAL TO OR BETTER THAN THAT BEFORE THE DAMAGE WAS DONE.
 - THE CONTRACTOR SHALL CONTACT DIG-SAFE (1-800-225-4877), THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITY COMPANIES AND VERIFY UTILITY LOCATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY/ALL UTILITY DAMAGE. THE CONTRACTOR SHALL RECORD THE LOCATION OF ANY/ALL DIG-SAFE UTILITY MARKINGS ON PROJECT RECORD DOCUMENTS.
 - ALL ITEMS DESIGNATED TO BE REMOVED AND DEPOSED (RAD) SHALL BE TAKEN FROM THE SITE AND LEGALLY DEPOSED.
 - ALL ITEMS DESIGNATED TO BE REMOVED AND STOCKPILED (R+S) SHALL BE DISASSEMBLED AND STOCKPILED AT A LOCATION DETERMINED BY THE OWNER'S REPRESENTATIVE.
 - DEBRIS OF ANY NATURE SHALL NOT BE ALLOWED TO ACCUMULATE IN THE STREETS, PARKING LOT OR OTHER AREAS OF CONCERN SURROUNDING THE PROJECT AREA.
 - FOR ALL HOLES, PITS OR OTHER HAZARDOUS DEPRESSIONS ADJACENT TO OR WITHIN (5) FEET OF ANY EXISTING AREA AND ARE UNPROTECTED, A TEMPORARY GUARD FENCE SHALL BE IMMEDIATELY ERECTED FOR THE PROTECTION OF PEDESTRIANS. THE FENCING MATERIAL SHALL BE TIED FROM HOLES, FASTENERS, SPLICES AND SHALL PRESENT A REASONABLY SMOOTH SURFACE ON THE SIDES OF POSSIBLE CONTACT. SUCH TEMPORARY FENCES SHALL BE LEFT IN PLACE AND SHALL BE PROPERLY MAINTAINED UNTIL THE HOLES, PITS OR DEPRESSIONS HAVE BEEN PROPERLY FILLED.
 - ALL STAMPS AND ROOTS OF TREE AND SHRUBS TO BE REMOVED AND DEPOSED OF ARE TO BE DEPOSED OFF SITE.
 - ALL EXISTING VEGETATION (TREES, SHRUBS, GRASSES, ETC.) TO REMAIN SHALL BE PROTECTED FROM TRAFFIC, MACHINERY, TREES AND SHRUBS TO BE SAVED WITHIN THE DESIGNATED WORK AREA SHALL BE PROTECTED AS SPECIFIED HEREIN. THE CONTRACTOR SHALL REMOVE ALL PROTECTIVE BARRIERS ONLY AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
 - THE CONTRACTOR SHALL CAREFULLY PRUNE BRANCHES IN THE WAY OF CONSTRUCTION BY USING ONLY APPROVED METHODS AND TOOLS. THE USE OF AXES FOR TRIMMING OF BRANCHES WILL NOT BE PERMITTED.
 - THE CONTRACTOR SHALL STRIP AND STOCKPILE EXISTING LOAM FROM THOSE AREAS WHICH ARE TO BE EXCAVATED OR FILLED. STOCKPILED LOAM SHALL NOT BE MIXED WITH ANY DEBRIS OR OTHER UNSUITABLE MATERIAL UNLESS DIRECTED BY THE OWNER'S REPRESENTATIVE. ALL STOCKPILED LOAM REMAINS THE PROPERTY OF THE OWNER. EARTH EXCAVATION SHALL BE LIMITED TO THE DIMENSIONS AND REQUIREMENTS SHOWN ON THE DRAWINGS.
 - ALL STOCKPILED LOAM OR OTHER SOIL MATERIAL SHALL BE SURROUNDED BY HAY BALES.
 - THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE SITE CLEAN OF MISCELLANEOUS DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. ALL WASTE MATERIALS SHALL BE REMOVED IMMEDIATELY TO A LEGAL, OFF-SITE LOCATION UNLESS OTHERWISE INDICATED ON THE PLAN.
 - THE CONTRACTOR SHALL AT ALL TIMES PROVIDE SUFFICIENT NUMBER OF WORKMEN AND GUARDS AS MAY BE NECESSARY TO PROTECTLY PREVENT THE PUBLIC FROM THE CONTRACTOR'S OPERATIONS.
 - BEFORE THE DEMOLITION PROCESS THE CONTRACTOR SHALL USE SUFFICIENT WATER OR NON-SOLUBLE MATERIALS TO PREVENT EXCESSIVE SPREADING OF DUST DURING DEMOLITION OPERATIONS.
 - THE REMOVAL AND DISPOSAL OF ALL MATERIALS SHALL BE DONE IN ACCORDANCE WITH THE APPROPRIATE STATE AND LOCAL ORDINANCES, RULES AND REGULATIONS.
 - THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST THE DAMAGING OF PIPES, BODILIERS, UTILITIES OR PRIVATE PROPERTIES AND SHALL PROMPTLY REPAIR AT THE CONTRACTOR'S OWN EXPENSE ANY DAMAGE TO SUCH PIPES, BODILIERS, UTILITIES OR PRIVATE PROPERTIES TO THE SATISFACTION OF THE OWNER.
 - THE CONTRACTOR SHALL TAKE PRECAUTIONS NOT TO DAMAGE TREES TO REMAIN AS PER DETAIL.
 - ROOT PRUNE TREES IN ACCORDANCE WITH ROOT STANDARD SPECIFICATIONS L-10 TREE AND SHRUB ROOT PRUNING, AS REQUIRED TO PROVIDE FOR PROPOSED CONDITIONS.
 - REFER TO SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION AND DEMOLITION REQUIREMENTS AND GUIDELINES.

Revisions:

REVISED 6/16/00

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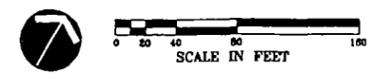
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1150 PAWTUCKET AVE.
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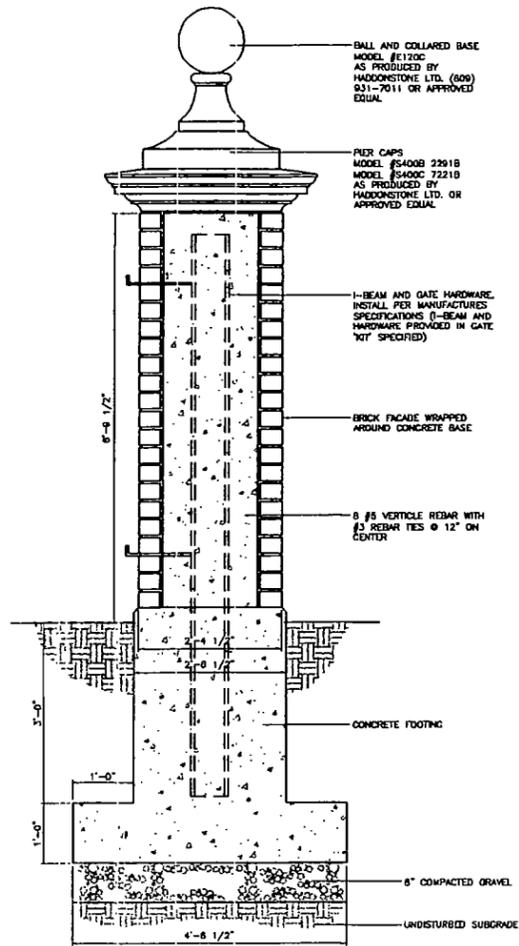
Gates, Leighton & Associates, Inc.
LANDSCAPE ARCHITECTURE
DRIVERS AND PARKING IMPROVEMENTS
MOSES BROWN SCHOOL
Providence Rhode Island
Drawing Title:

TREE PROTECTION AND TREE DEMOLITION PLAN

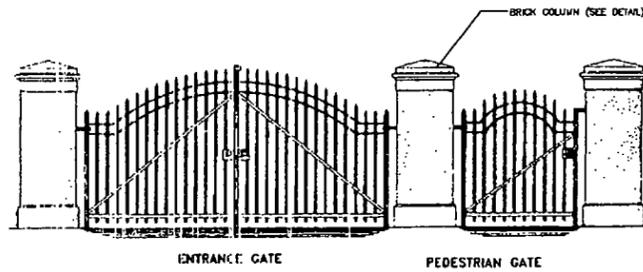
Key Plan:

Scale: **L-5**
Drawing Number



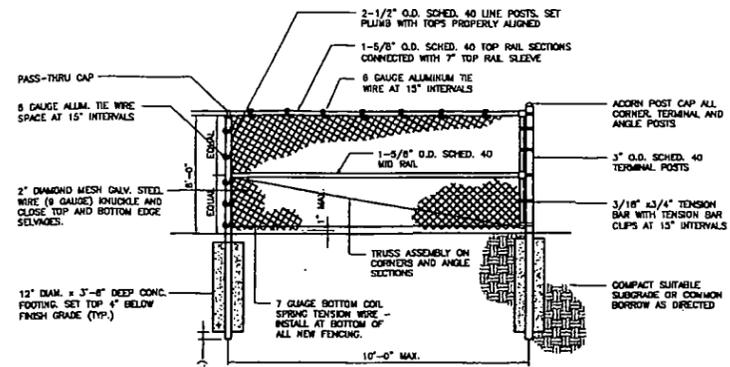


BRICK COLUMN AT GATE DETAIL
NOT TO SCALE

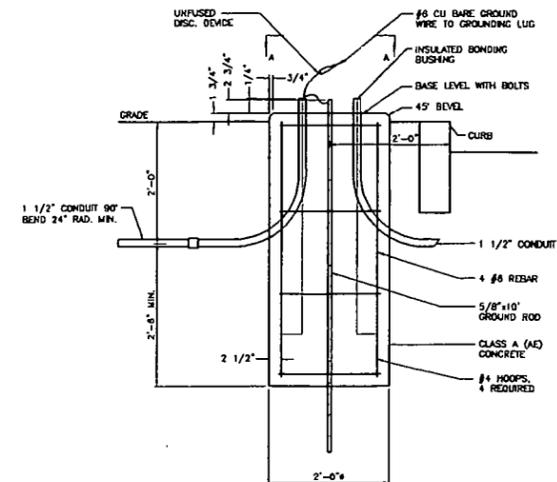
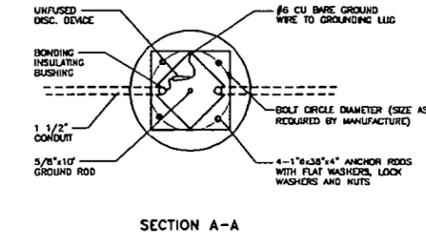


ENTRANCE GATE; AND PEDESTRIAN GATE SHALL BE STEWART IRON WORKS CONVEX GATE #51, 25' WIDE DOUBLE DRIVE WITH INTERNAL 1 BEAM POST, NOT DIPPED GALVANIZED WITH ACRYLIC URETHANE FINISH AS SUPPLIED BY: THE STEWART IRON WORKS CO., COVINGTON KENTUCKY (BOX) 431-1955 OR APPROVED EQUAL.

ENTRANCE GATES
NOT TO SCALE



CHAIN LINK FENCE - VINYL COATED
NOT TO SCALE



SECTION
LIGHT POLE FOUNDATION DETAIL
NOT TO SCALE

Revisions:

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Gates, Leighton & Associates, Inc.
LANDSCAPE ARCHITECTS

DRIVEWAY AND PARKING IMPROVEMENTS
MOSES BROWN SCHOOL

Providence Rhode Island

Drawing Title:
LANDSCAPE AND MATERIALS DETAIL SHEET

Key Plan:

DATE	3-1-00
BY	ML
CHECKED	ML
DATE	3-1-00
BY	ML
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DATE	3-1-00
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L-7