

# RESOLUTION OF THE CITY COUNCIL

*No.* 502

*Approved* August 11, 2000

SECTION 1. The New England Meeting of Friends and Moses Brown School (collectively, "Petitioner"), through its representatives, seeks to reconfigure its existing internal traffic patterns, construct a traffic island and appurtenant traffic controls in the vicinity of Hope, Thayer, and Burns Street. Petitioner has recognized the need for more intensive traffic control and wishes to upgrade existing traffic controls.

SECTION 2. Petitioner is hereby authorized to erect a traffic island, signage and striping, at its sole expense, at the intersection of Hope, Thayer & Burns Streets in the City. The Petitioner is authorized to encroach on the public way only to the extent necessary to complete said construction. Said authority is specifically granted upon the conditions contained herein.

SECTION. 3. Petitioner shall not construct or affix to the realty any temporary or permanent structure other than that described to the City Council Committee on Public Works.

SECTION 4. Any construction necessary for installation of the island shall be resurfaced/rehabilitated to the approval of the Director of the Department of Public Works, the Traffic Engineer and the Director of the Department of Inspection and Standards.

SECTION. 5. All traffic control shall meet all specifications and requirements of the Traffic Engineer.

SECTION 6. Petitioner shall ascertain that there exists no adverse impact on any local utility company.

SECTION 7. During construction of said island and until such time as the City shall officially assume control/ownership over said island and signage, Petitioner shall maintain an insurance policy against loss or claim and it shall name the City of Providence, its officers, employees and agents as additional named insured and shall be

JUN 1 2000

IN CITY COUNCIL  
FIRST READING  
REFERRED TO COMMITTEE ON  
PUBLIC WORKS

*Michael R. Clement*  
CLERK  
CB

THE COMMITTEE ON  
PUBLIC WORKS  
Approves Passage of  
The Within Resolution

*Claire E. Bestwick*  
July 12 2000  
Clerk

*From the Clerk's Desk*

for a sum of not less than \$100,000. Said policy shall be approved by the Department of Law of the City of Providence.

SECTION 8. Petitioner shall execute an indemnification and hold-harmless agreement approved by the Department of Law of the City of Providence.

SECTION 9. All construction shall be performed according to the plans submitted by Petitioner, as those plans may have been modified by any city department or by the Council Committee on Public Works.

SECTION 10. Such other terms and conditions as may be reflected in the record and minutes of the City Council Committee on Public Works and/or as may be deemed appropriate by the Department of Law of the City of Providence and His Honor the Mayor.

SECTION 11. Petitioner shall, at its own expense, remove said encroachment in the event the City notifies said Petitioner or any successor in interest thirty (30) days in advance of the intent of the City to utilize said realty for any purposes. By commencing any alteration pursuant to this grant, Petitioner specifically waives any claim for damages it may have for such use.

SECTION 12. Petitioner shall comply with all conditions contained herein not later than sixty (60) days from its approval. Upon failure to so comply for any reason, the within resolution shall automatically become a nullity.

IN CITY COUNCIL  
AUG 3 2000  
READ AND PASSED  
PRES.  
Clerk  
CLERK

APPROVED  
AUG 11 2000  
Mayor

IRENE J. TESTA  
Traffic Engineer

JOSEPH W. CAPRIO  
Deputy Director



VINCENT A. CIANCI, JR.  
Mayor

Department of Traffic Engineering  
"Building Pride In Providence"

## **MEMORANDUM**

**TO:** Councilman Robert Clarkin  
Chairman, Committee on Public Works

**FROM:** Irene J. Testa *Irene J. Testa*

**DATE:** 7/5/00

**RE:** PENDING MATTERS

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**Request:** That Moses Brown School be granted permission to make the necessary roadway improvements as outlined in their petition.

**Disposition:** No objection.



PROVIDENCE POLICE DEPARTMENT  
Traffic Services  
209 Fountain St, Providence, RI 02903  
272-3121 X2352

6/12/00

To: Councilman Robert M. Clarkin, Chairman, Committee on Public Works  
From: Major Richard T. Sullivan  
Subject: Construction of Traffic Island at Hope Street and Lloyd Avenue

Sir:

Attached is a Memorandum dated June 7, 2000, reference the construction of a traffic island at the intersection of Hope/Lloyd/Thayer/Barnes Street. I am not completely sure why the traffic island is being installed, when the issue is opening a portion of the Moses Brown property for entering and exiting vehicles. The petition does not have a diagram attached nor is there traffic impact study material. With these comments, the Providence Police Department does not have enough information to approve the recommendation.

JAMES F. RATTIGAN  
CHIEF OF DEPARTMENT

DAVID N. BOCK  
ASS'T. CHIEF OF DEPARTMENT



VINCENT A. CIANCI, JR.  
MAYOR

JOHN J. PARTINGTON  
COMMISSIONER

## Department of Public Safety, Fire Department

*"Building Pride In Providence"*

### MEMORANDUM

**TO:** *Councilman Robert M. Clarkin*  
*Chairman*  
*Committee on Public Works*

**FROM:** *Gary E. Mulcahy*  
*Acting Assistant Chief of Department*

*GEM*

**DATE:** *July 12, 2000*

**SUBJECT:** *PETITION – MOSES BROWN SCHOOL*

Attached please find a copy of the memorandum dated July 6, 2000 concerning a petition from Moses Brown School. This Department has no objection to this petition only if the proposed construction of a new driveway and on-campus parking does not restrict access to emergency vehicles. The Providence Fire Department would object to any traffic-calming device which would inhibit or delay apparatus response time.

GEM/rh  
Attachment

James F. Rattigan  
Chief of Department

David D. Costa  
Fire Marshal



Vincent A. Cianci Jr.  
Mayor

John J. Partington  
Commissioner

## PROVIDENCE FIRE PREVENTION DIVISION

*"Smoke Detectors Save Lives"*

July 3, 2000

Chairman Robert M. Clarkin  
Committee on Public Works  
City Hall  
Providence, RI 02903

Re: Permission to Install a New Traffic Island at Hope/Thayer/ Barnes Intersection

Dear Chairman Clarkin,

The Fire Department has expressed concern and objections in the past on any proposal that may restrict or slow response by fire apparatus. After review of the proposal to install a new traffic island at the intersection of Hope, Thayer, and Barnes Streets (see attached), the Fire Department needs additional information that includes a plan showing exactly what will be installed and the results of the traffic study before a recommendation can be made.

Respectfully,

David D. Costa  
Fire Marshal

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SECTION 12. Petitioner shall comply with all conditions contained herein not later than sixty (60) days from its approval. Upon failure to so comply for any reason, the within resolution shall automatically become a nullity.

A true copy,  
Attest:

*Michael R. Clement*

Michael R. Clement  
City Clerk

RECEIVED FOR RECORD  
DEC 1 1997  
52  
NOTING RECORDER OF DEED  
Barbara A. Jancy

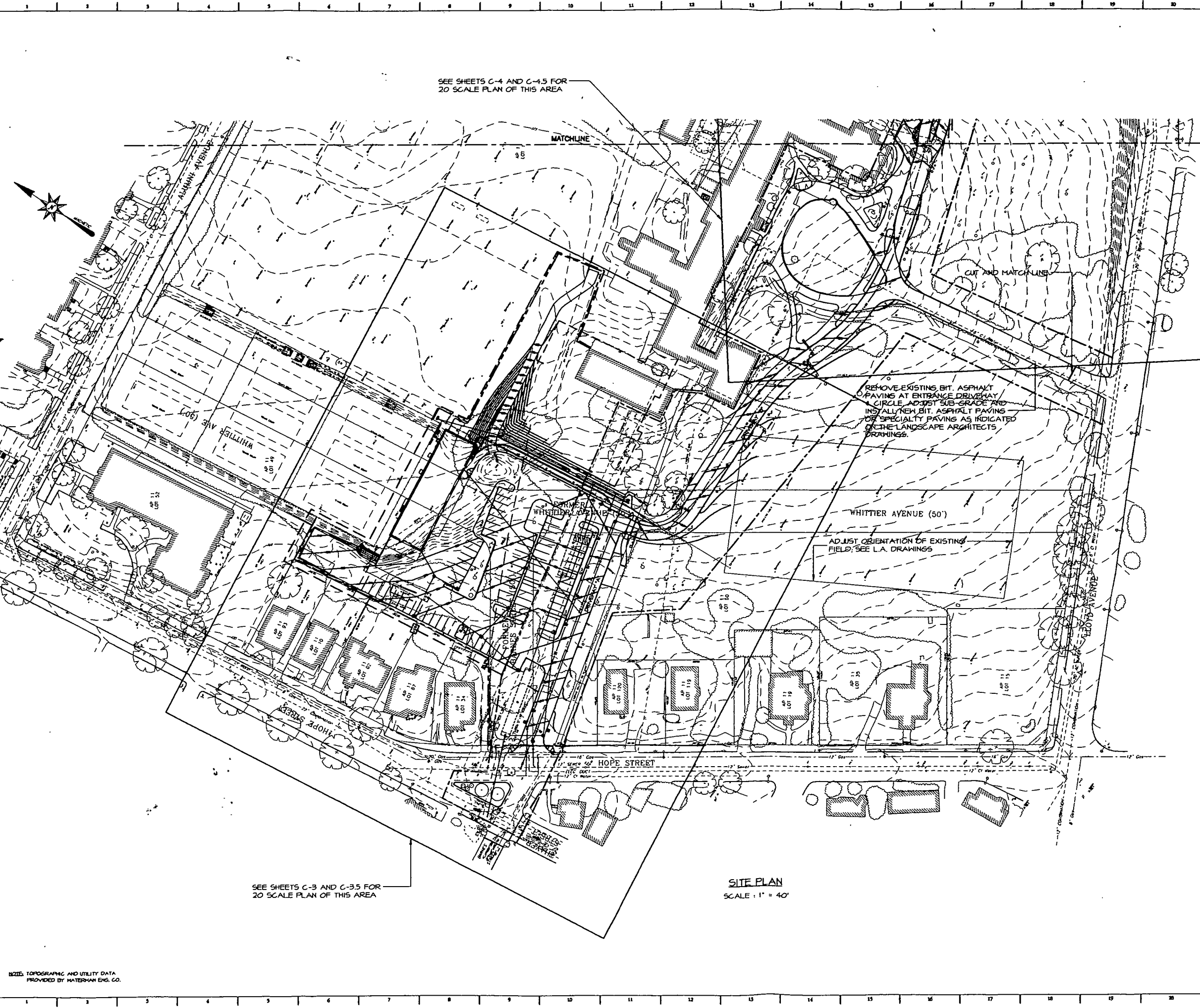
4451/183, 184

PROVIDENCE, RI  
RECEIVED FOR RECORD

2000 AUG 30 2:52

BARBARA A. TRONCY  
ACTING RECORDER OF DEEDS

36045



DRAWING INDEX

- C-1 SITE PLAN 1
- C-2 SITE PLAN 2
- C-3 WEST PARKING AND DRIVEWAY ENTRANCE DRAINAGE & UTILITIES
- C-3.5 WEST PARKING AND DRIVEWAY ENTRANCE DRAINAGE & UTILITIES
- C-4 EAST PARKING AND DRIVEWAY ENTRANCE DRAINAGE & UTILITIES
- C-4.5 EAST PARKING AND DRIVEWAY ENTRANCE DRAINAGE & UTILITIES
- C-5 STRIPING AND SIGN LAYOUT
- C-6 ACCESS DRIVEWAY PROFILE
- C-7 DETAILS
- C-8 DETAILS
- L-1 WEST MATERIALS PLAN
- L-2 EAST LANDSCAPE AND MATERIALS PLAN
- L-3 WEST PLANTING PLAN
- L-4 EAST PLANTING PLAN
- L-5 TREE PROTECTION AND TREE DEMOLITION PLAN
- L-6 LANDSCAPE AND MATERIALS DETAILS
- L-7 LANDSCAPE AND MATERIALS DETAILS

Revisions

6/16/00 GENERAL REVISIONS  
6/24/00 RELEASED FOR PERMITTING/REDOING



RHINEBECK  
ARCHITECTURE & PLANNING P.C.

21 East Market Street Rhinebeck, New York 12572  
Tel 914 876-2832 Fax 914 876-2885  
E-Mail Rhinebeck@aol.com

CAPUTO AND WICK LTD.  
1150 PAWTUCKET AVE.  
RHODE ISLAND, R.I. 02916

DRIVEWAY AND PARKING  
IMPROVEMENTS  
MOSES BROWN SCHOOL

Providence Rhode Island

Drawing Title

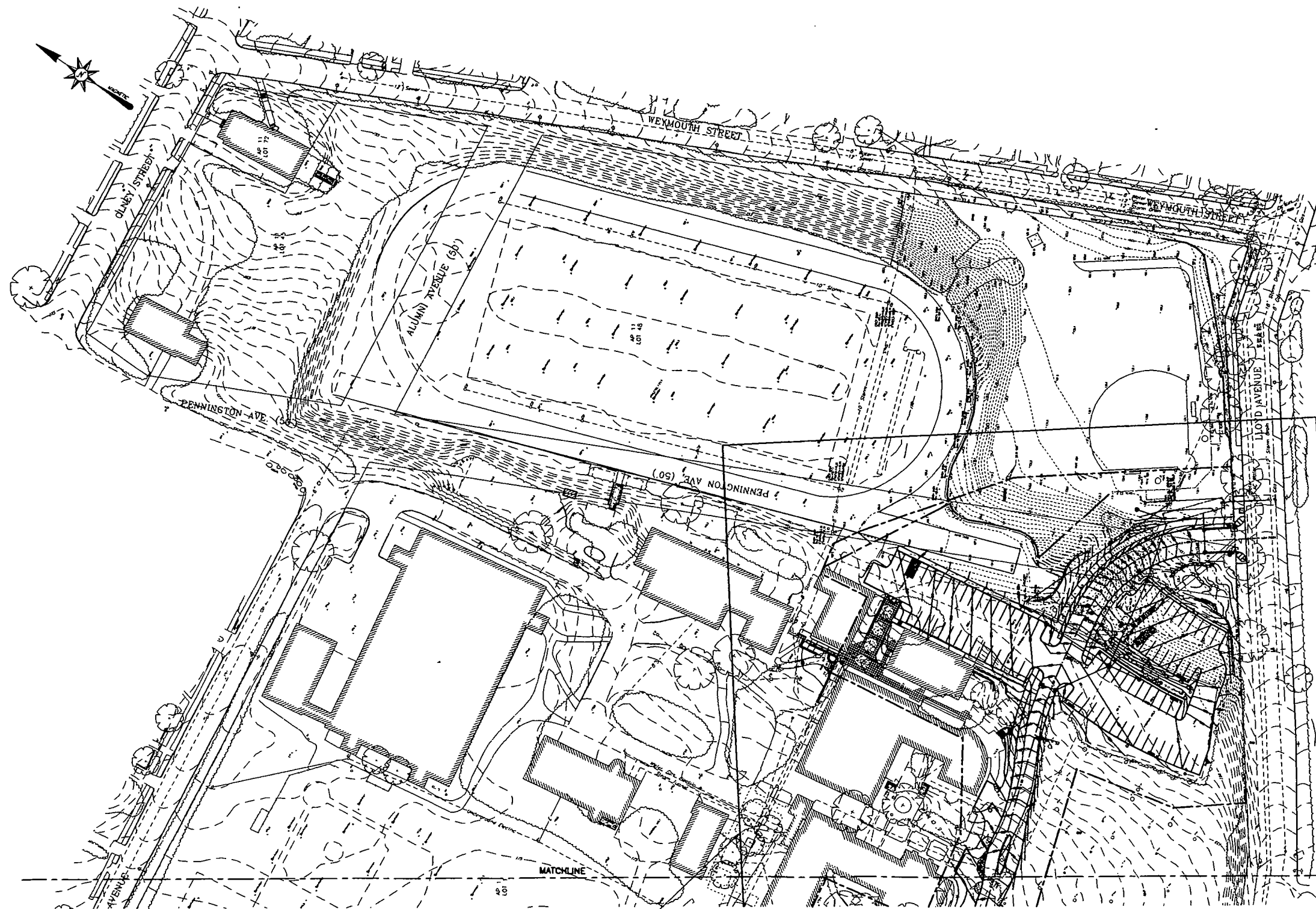
SITE PLAN 1

Key Plan

Scale

C-1

Drawing Number



SEE SHEETS C-4 AND C-4.5 FOR  
20 SCALE PLAN OF THIS AREA

SITE PLAN  
SCALE: 1" = 40'

BASE, TOPOGRAPHIC AND UTILITY DATA  
PROVIDED BY WATERMAN ENG. CO.

# LEGEND

- PROPOSED CURB
- PROPOSED GRADE
- EXIST. GRADE
- SPOT GRADE
- PROPOSED UTILITY LINE W/ DESIG.
- PROPOSED CATCH BASIN
- EXISTING TREE
- TEST PIT LOCATION
- PROPOSED GAS
- PROPOSED WATER
- EXIST. WATER
- FENCE
- PROPOSED SAN SEWER
- TEMPORARY FENCE
- PROJECT LIMIT LINE
- LP LIGHT POLE
- BOULDER
- RETENTION TANK

Revisions

6/16/00 GENERAL REVISIONS  
4/24/00 RELEASED FOR PERMITTING/BIDDING

**RHINEBECK**  
ARCHITECTURE & PLANNING P.C.

21 East Market Street Rhinebeck, New York 12572  
Tel 914 876-2832 Fax 914 876-2885  
E-Mail Rhinebeck@aol.com

**CAPUTO AND WICK LTD.**  
1150 PAWTUCKET AVE.  
BURLINGTON, N.J. 08916

**DRIVEWAY AND PARKING  
IMPROVEMENTS**  
MOSES BROWN SCHOOL

Providence Rhode Island

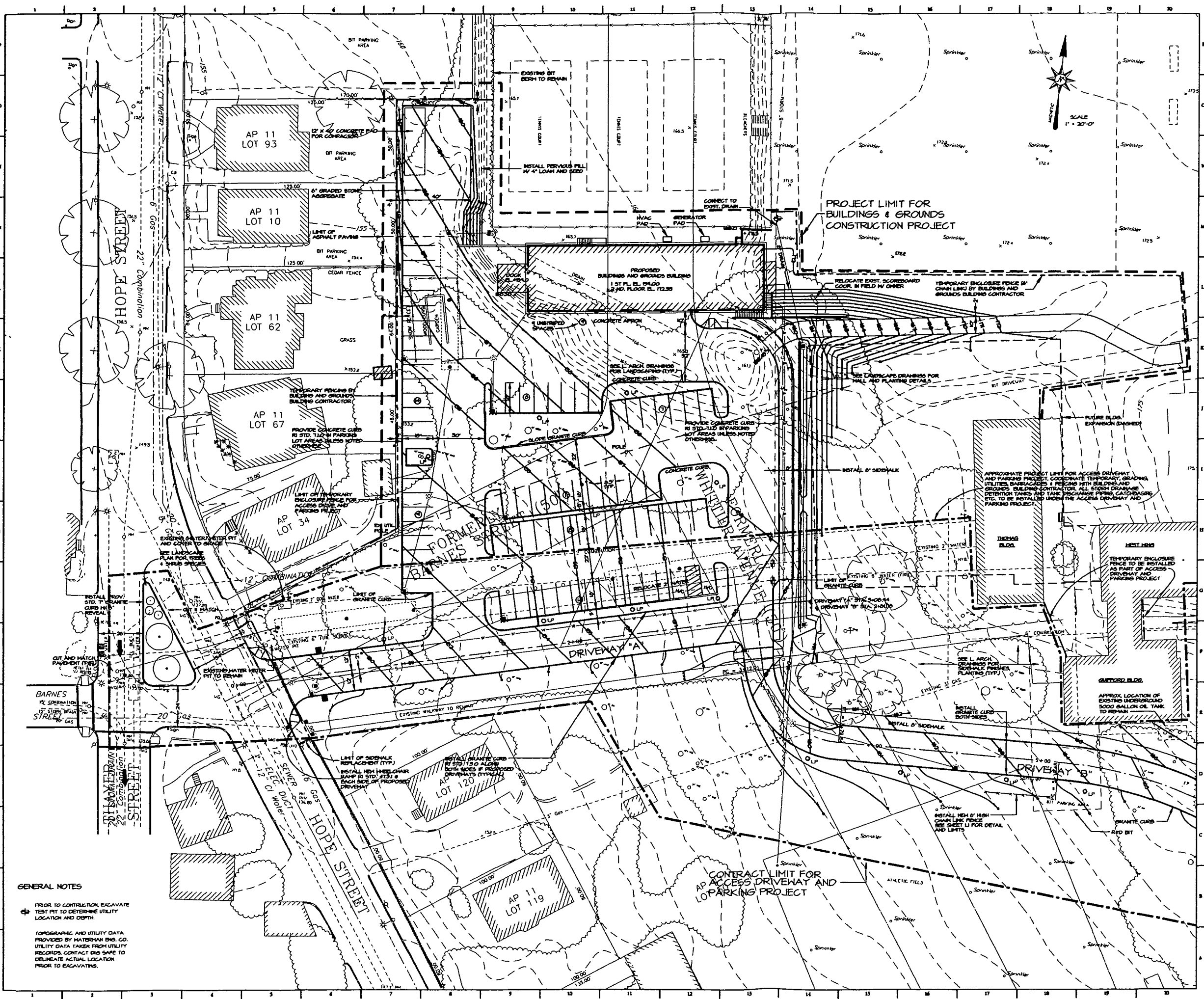
Drawing Title:

SITE PLAN 2

Key Plan:

C-2

Scale: Drawing Number:



**GENERAL NOTES**

PRIOR TO CONSTRUCTION, EXCAVATE TEST PIT TO DETERMINE UTILITY LOCATION AND DEPTH.

TOPOGRAPHIC AND UTILITY DATA PROVIDED BY WATERMAN ENG. CO. UTILITY DATA TAKEN FROM UTILITY RECORDS. CONTRACTORS SAFE TO DELINEATE ACTUAL LOCATION PRIOR TO EXCAVATING.

Revision:

6/16/00	GENERAL REVISIONS
5/16/00	CLARIFICATION FOR BID PROCESS
4/24/00	RELEASED FOR BIDDING/PERMITTING

**RHINEBECK**  
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21 East Market Street, Rhinebeck, New York 12572  
Tel 914 876-2832 Fax 914 876-2885  
E-Mail: Rhinebeck@aol.com

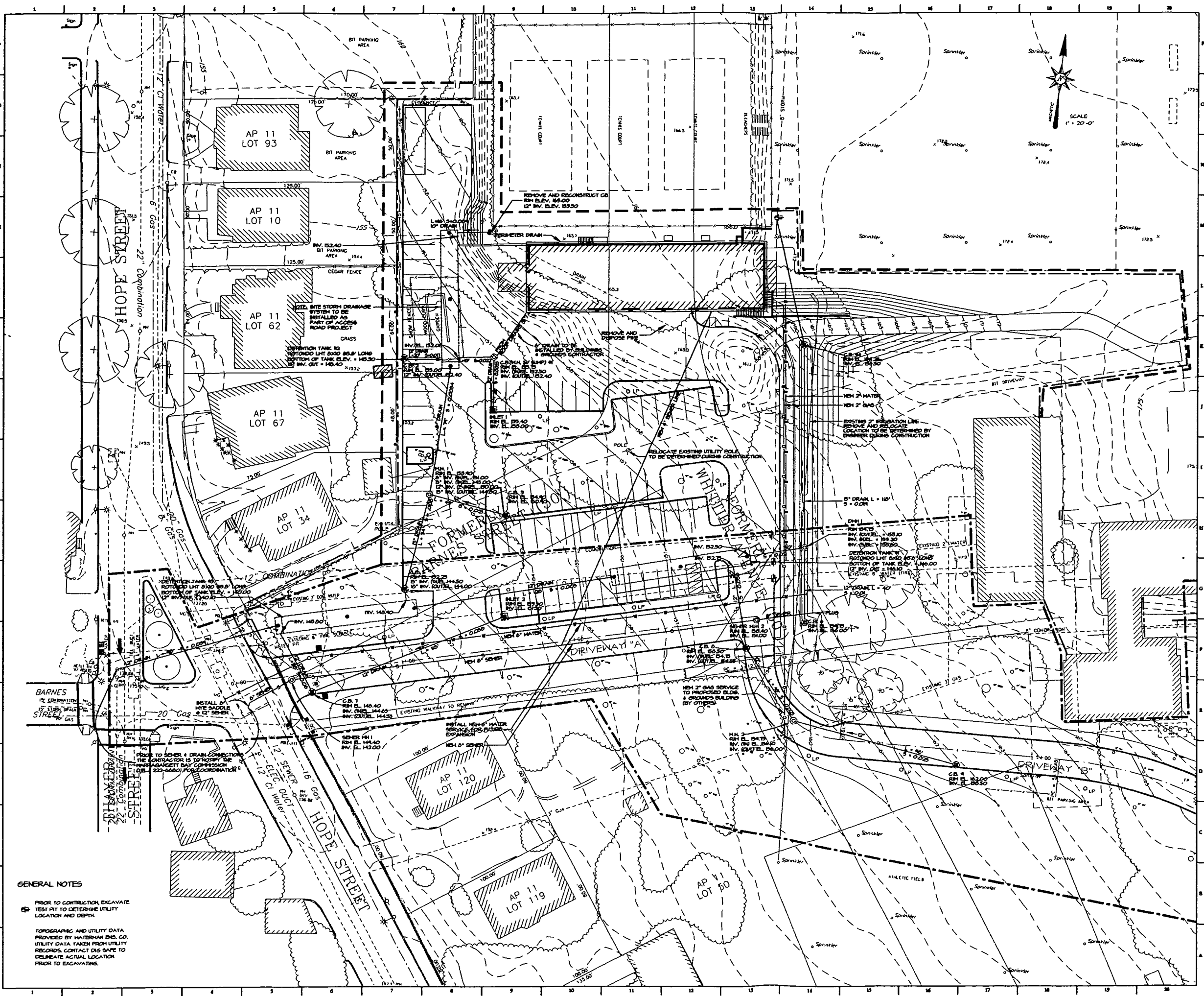
**CAPUTO AND WICK LTD.**  
1150 PAWBUCKET AVE.  
RUMFORD, R.I. 02916

**DRIVEWAY AND PARKING IMPROVEMENTS**  
MOSES BROWN SCHOOL

Providence Rhode Island

Drawing Title:  
**WEST PARKING AREA AND DRIVEWAY ENTRANCE**  
SCALE: 1" = 20'-0"  
Key Plan:

Scale	Drawing Number
C-3	



**GENERAL NOTES**

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Revisions:

6/16/00	GENERAL REVISIONS
3/16/00	CLARIFICATION FOR BID PROCESS
4/24/00	RELEASED FOR BIDDING/PERMITTING

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ARCHITECTURE & PLANNING P.C.

21 East Market Street, Rhinebeck, New York 12572  
Tel 914 876-2832 Fax 914 876-2885  
B-3648 Rhinebeck@aol.com

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1150 PAWTUCKET AVE.  
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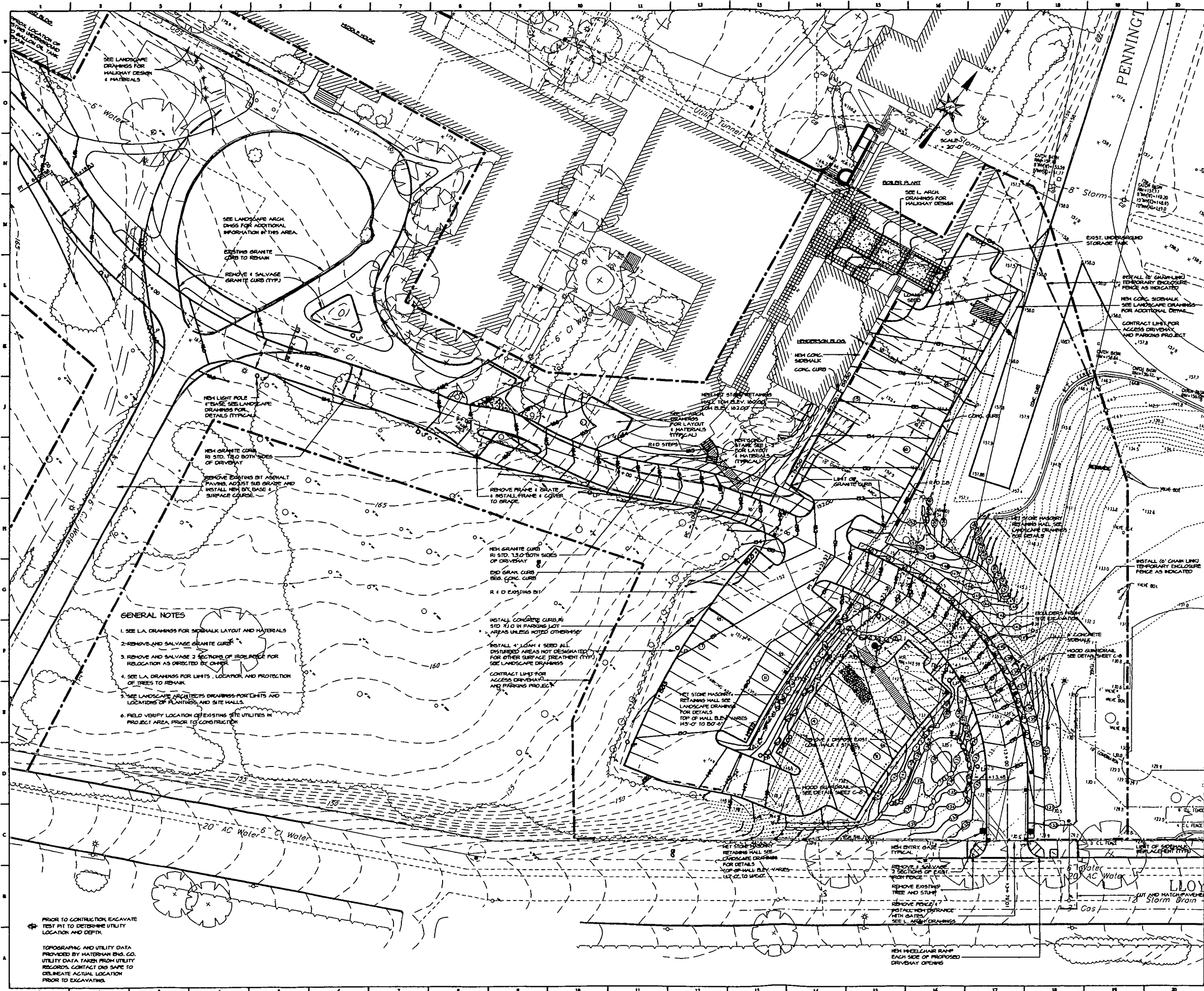
**DRIVEWAY AND PARKING IMPROVEMENTS**  
MOSES BROWN SCHOOL

Providence Rhode Island

Drawing Title:  
**WEST PARKING AREA DRAINAGE AND UTILITIES**  
SCALE: 1" = 20'-0"  
Key Plan:

Scale	1" = 20'-0"
North Arrow	North
Sheet	C-3.5
Drawing Number	





Revisions:

6/15/00	GENERAL REVISIONS
4/14/00	RELEASED FOR BIDDING/PERMITTING

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**DRIVEWAY AND PARKING IMPROVEMENTS**  
MOSES BROWN SCHOOL

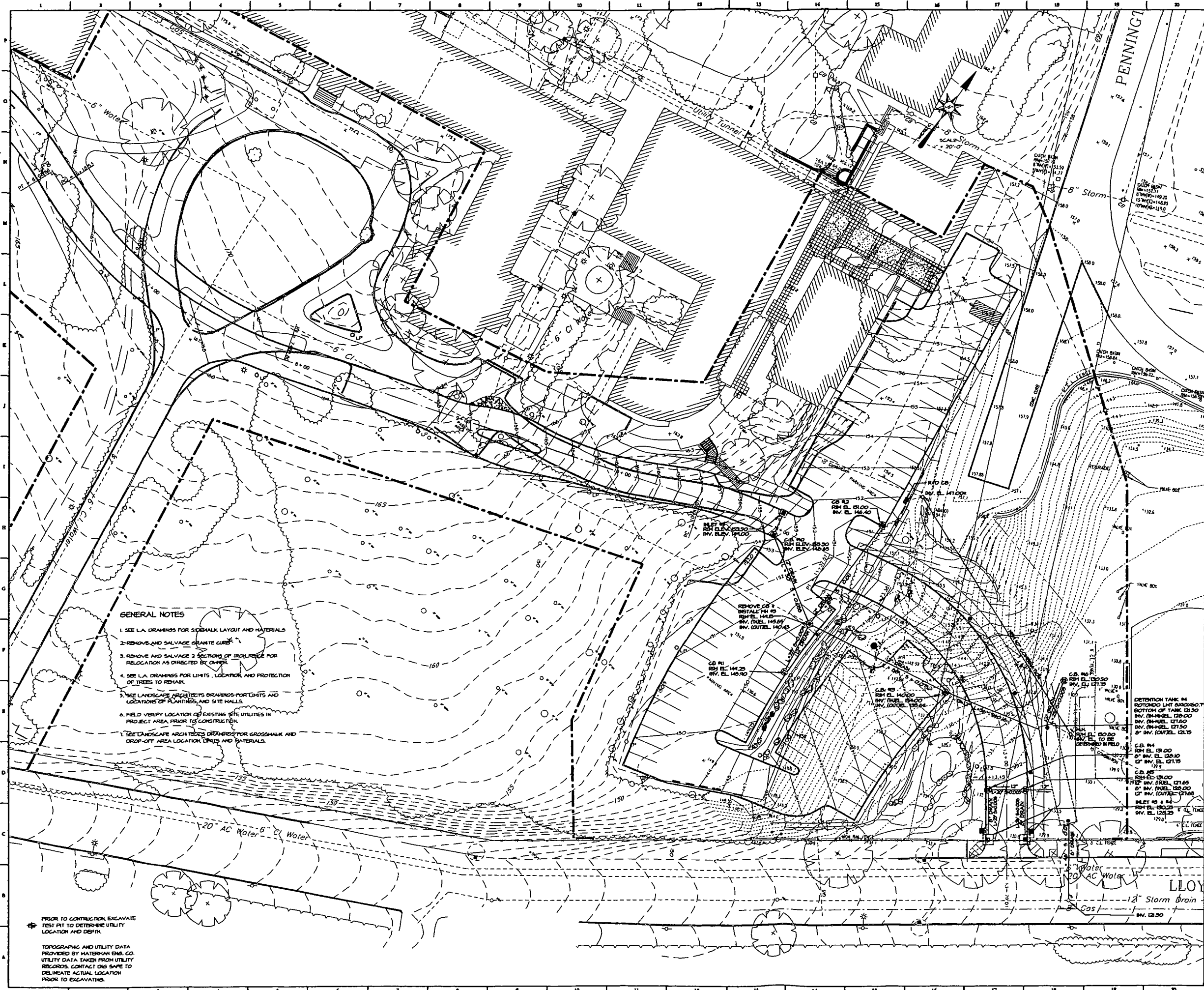
Providence Rhode Island

Drawing Title:

**EAST PARKING AREA AND DRIVEWAY ENTRANCE**  
SCALE: 1" = 20'-0"  
Key Plan:

Drawn	Checked
Scale	Notes

**C-4**  
Drawing Number



GENERAL NOTES

1. SEE L.A. DRAWINGS FOR SIDEWALK LAYOUT AND MATERIALS
2. REMOVE AND SALVAGE GRANITE CURB
3. REMOVE AND SALVAGE 2 SECTIONS OF IRONPIPE FOR RELOCATION AS DIRECTED BY OWNER
4. SEE L.A. DRAWINGS FOR LIMITS, LOCATION AND PROTECTION OF TREES TO REMAIN
5. SEE LANDSCAPE ARCHITECT'S DRAWINGS FOR PLANTINGS AND SITE WALLS
6. FIELD VERIFY LOCATION OF EXISTING SITE UTILITIES IN PROJECT AREA PRIOR TO CONSTRUCTION
7. SEE LANDSCAPE ARCHITECT'S DRAWINGS FOR GROSSWALK AND DROP-OFF AREA LOCATION LIMITS AND MATERIALS

PRIOR TO CONSTRUCTION EXCAVATE TEST PIT TO DETERMINE UTILITY LOCATION AND DEPTH

TOPOGRAPHIC AND UTILITY DATA PROVIDED BY WATERMAN ENG. CO. UTILITY DATA TAKEN FROM UTILITY RECORDS. CONTACT DING SAPE TO DELINEATE ACTUAL LOCATION PRIOR TO EXCAVATING.

Revisions:

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**DRIVEWAY AND PARKING IMPROVEMENTS**  
MOSES BROWN SCHOOL

Providence Rhode Island

Drawing Title:  
**EAST PARKING AREA DRAINAGE AND UTILITIES**  
SCALE: 1" = 20'-0"  
Key Plan:

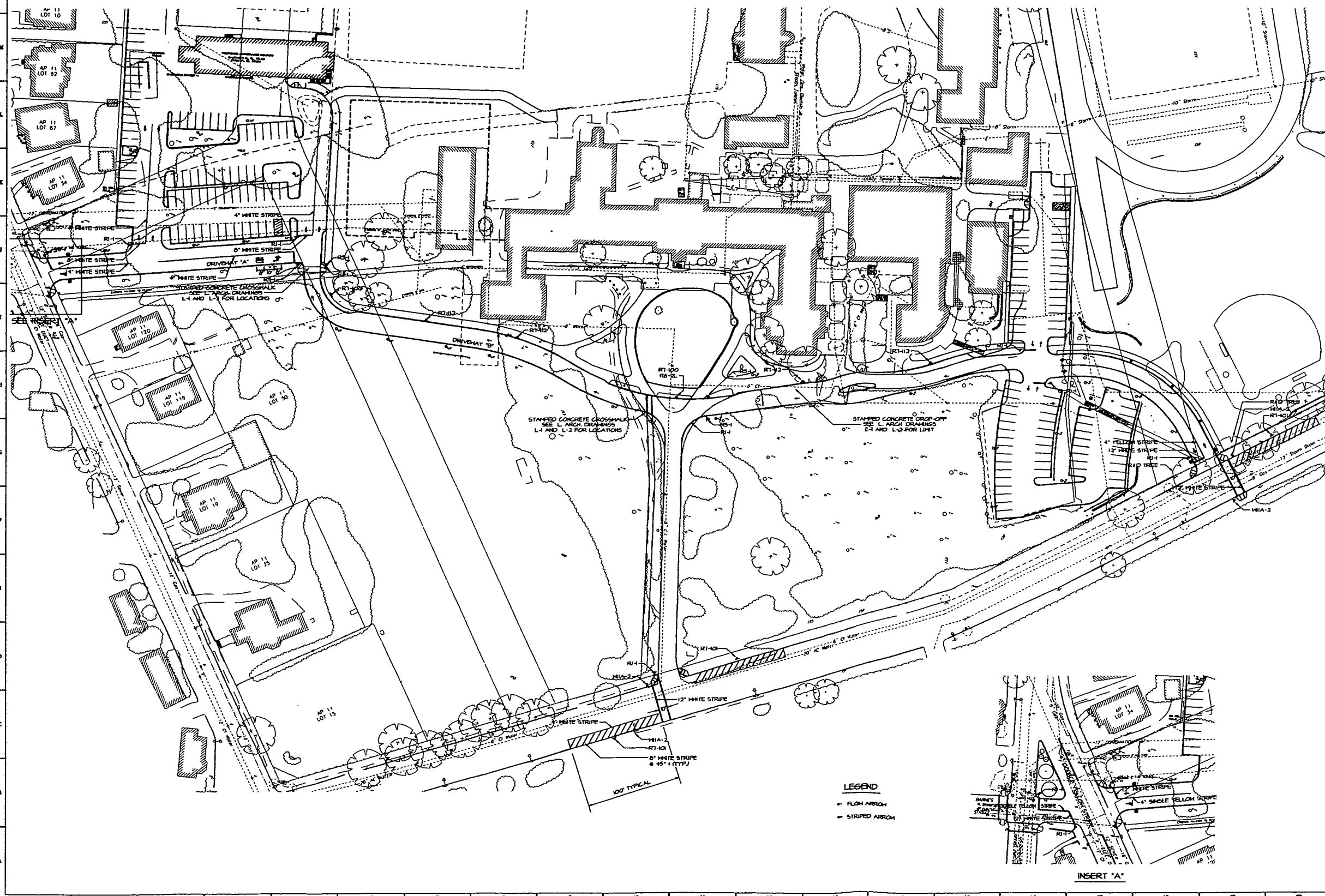
Design	Checked
Drawn	Reviewed
Scale	Notes

**C-4.5**  
Drawing Number



TRAFFIC			SIGN			SUMMARY		
IDENTIFICATION NUMBER	SIZE OF SIGN	TEXT	TEXT DIMENSIONS	NUMBER OF SIGNS	COLOR	POST SIZE AND NUMBER	AREA IN SQUARE FEET	TOTAL
RT-1	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
RT-2	36" x 36"	YIELD	12" x 12"	1	WHITE	4" x 4"	1	1
RT-3	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
RT-4	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
RT-5	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
RT-6	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
RT-7	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
RT-8	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
RT-9	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
RT-10	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
RT-11	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
RT-12	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
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RT-17	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
RT-18	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
RT-19	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
RT-20	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1

TRAFFIC			SIGN			SUMMARY		
IDENTIFICATION NUMBER	SIZE OF SIGN	TEXT	TEXT DIMENSIONS	NUMBER OF SIGNS	COLOR	POST SIZE AND NUMBER	AREA IN SQUARE FEET	TOTAL
RT-21	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
RT-22	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
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RT-29	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
RT-30	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
RT-31	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
RT-32	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
RT-33	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
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RT-35	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
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RT-37	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
RT-38	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
RT-39	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1
RT-40	36" x 36"	STOP	12" x 12"	1	WHITE	4" x 4"	1	1



6/16/00 GENERAL REVISIONS
4/24/00 RELEASED FOR PERMITTING/BIDDING

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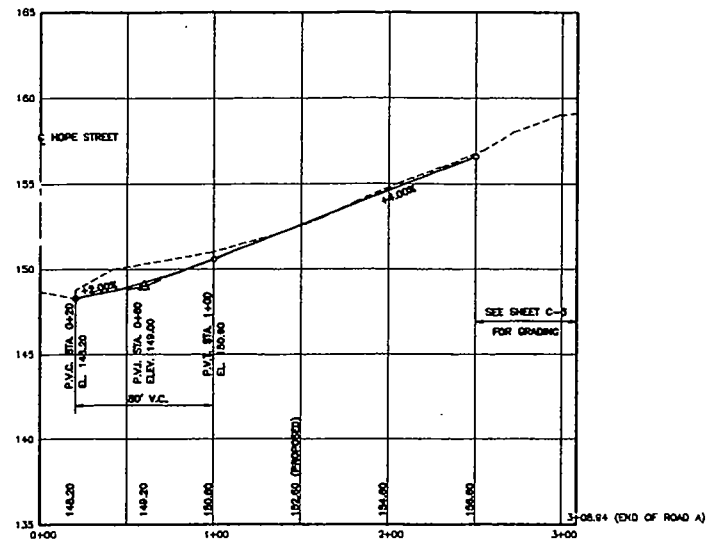
**DRIVEWAY AND PARKING IMPROVEMENTS**  
MOSES BROWN SCHOOL

Providence Rhode Island

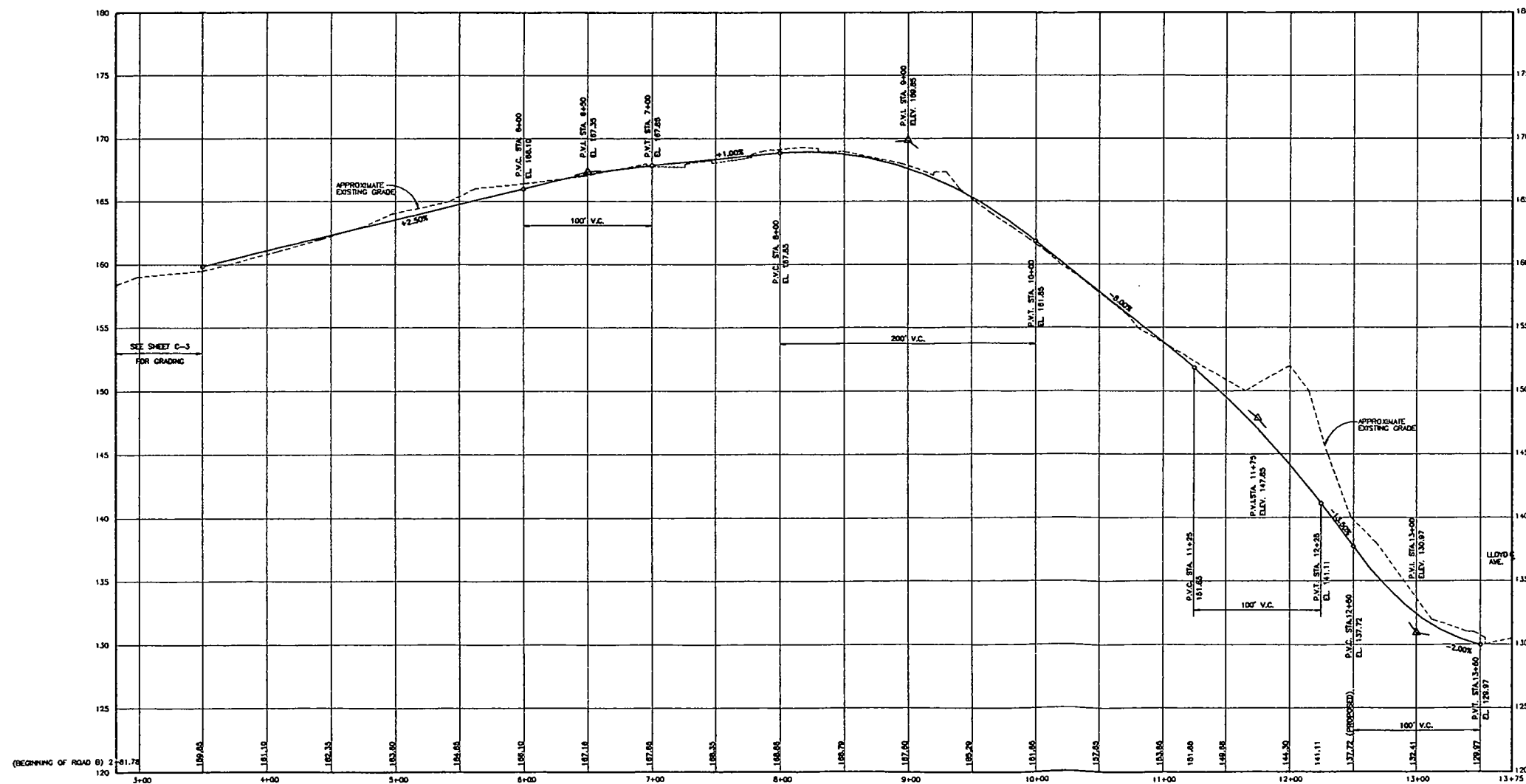
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**TRAFFIC CIRCULATION PLAN**  
SCALE: 1" = 40'

Key Plan:

**C-5**  
Drawing Number



**PROFILE ROAD A**  
SCALE: HOR. 1" = 40'  
VERT. 1" = 4'



**PROFILE ROAD B**  
SCALE: HOR. 1" = 40'  
VERT. 1" = 4'

Revisions

4/24/00 RELEASED FOR PERMITTING/BIDDING

**RHINEBECK**  
ARCHITECTURE & PLANNING P.C.

21 East Market Street, Rhinebeck, New York 12571  
Tel 914 876-2832 Fax 914 876-2885  
E-mail Rhinebeck@aol.com

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1150 PAWTUCKET AVE.  
BUMFORD, CT 02916

**DRIVEWAY AND PARKING IMPROVEMENTS**  
MOSES BROWN SCHOOL

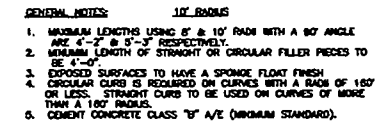
Providence Rhode Island

Drawing Title:

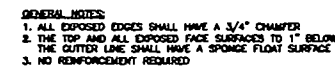
**ACCESS ROAD PROFILE**

Key Plan:

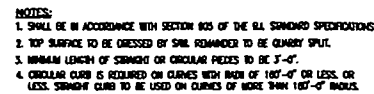
Scale	
Drawing Number	C-6



NOT TO SCALE



(FOR ROUND CATCH BASIN)  
NOT TO SCALE

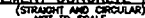
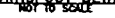


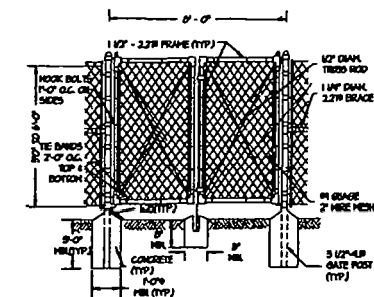
NOT TO SCALE



**NOTE:**  
ALL LOAM, TOPSOIL, SUBSOIL, ROOTS OR ANY OTHER  
UNDESIRABLE MATERIALS SHALL BE REMOVED FROM  
WITHIN OF LIMITS OF PERMIT. REMOVED MATERIAL  
SHALL BE REPLACED WITH CLEAN, GRANULAR FILL PLACED  
IN 12" MAXIMUM LIFTS AND SHALL BE COMPACTED TO  
95% OF THE MAXIMUM DENSITY.

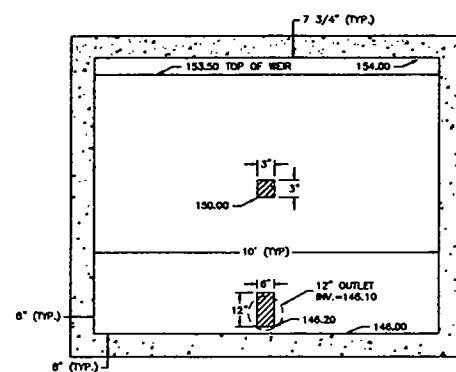
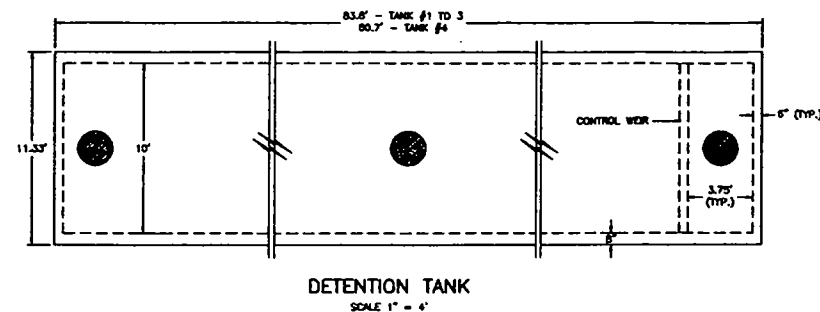
**NOT TO SCALE**



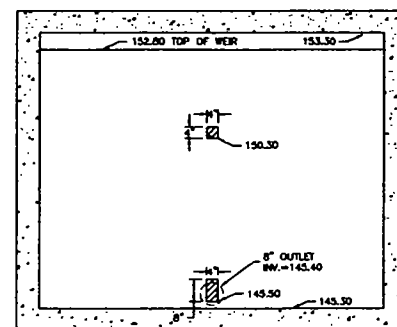



**NOTES:**  
1) SHALL BE IN ACCORDANCE WITH SECTION 402 OF THE RLL STANDARD SPECIFICATIONS.  
2) 6 GAUGE STREET CLIPS TO BE USED TO FASTEN SPRING TENSION WIRE TO LIVE POST.  
3) SPRING TENSION WIRE - REQ. 1 GAUGE CORRUGATED HEAVILY GALVANIZED (20 OZ. PER SQUARE FOOT) ALUMINUM COATED (54 OZ. PER SQUARE FOOT).  
4) ALL PIPES REFER TO SCHEDULE 40 NOMINAL PIPE SIZES.

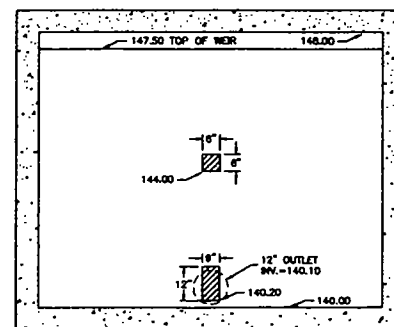
FENCE ELEVATION WITH DOUBLE GATE DETAIL  
NOT TO SCALE



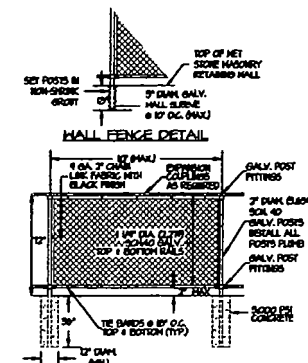
TANK #1-CONTROL WEIR  
SCALE 1/2" = 1'-0"



TANK #2-CONTROL WEIR  
SCALE 1/2" = 1'-0"

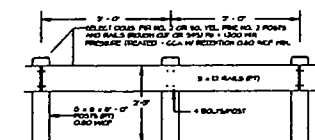


TANK #3-CONTROL WEIR  
SCALE 1/2" = 1'-0"

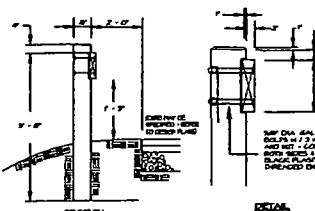


NOTE:  
POSTS, RAILS AND FABRIC TO HAVE A BLACK FINISH

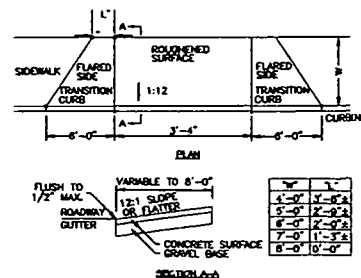
CHAIN LINK FENCE DETAIL  
NOT TO SCALE



**ELEVATION**

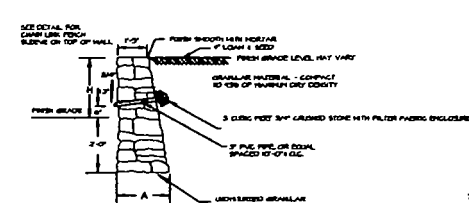


### WOOD GUARDRAIL DETAILS



**NOTES:**

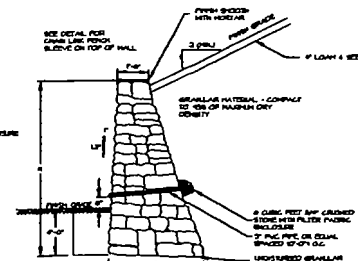
1. THE DIMENSIONS SHOWN AT THE ROADWAY EDGE ARE FIXED DISTANCES, SURFACE AND FOUNDATION.
2. RAMP CROSS SECTION TO BE SAME AS ADJACENT SIDEWALK; I.E. DEPTH OF SURFACE AND FOUNDATION.
3. RAMP AND ADJACENT CONCRETE RAMPERS ARE TO BE TEXTURED BY BROOMING IN DIRECTION PARALLEL TO THE LENGTH OF THE RAMP.
4. IN NO CASE ARE THE RAMPS TO BE PLACED BEHIND THE STOP LINE.
5. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE RAMPED TO MEET THE GRADE OF THE DRIVEWAY.



**GENERAL NOTE:**  
1) ALL EXPOSED SURFACES MUST BE COMPACTED  
2) LEVEL GROUND SURFACE REQUIRED DOWNSIDE WALL WITHOUT SHOULDER  
FOR A HORIZONTAL DISTANCE OF 8 PLUS 3 FEET.

DIMENSION AND QUANTITIES		
M	A	CU FT./SQ. FT. OF WALL
1'-0"	1'-0"	4.18
2'-0"	1'-0"	2.09
2'-0"	2'-0"	4.18
2'-0"	2'-0"	2.09

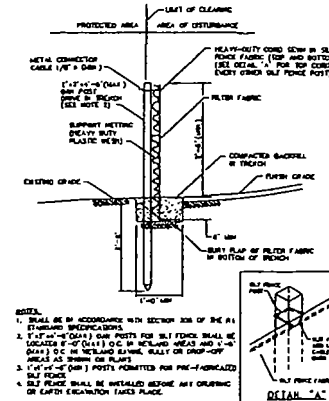
WET STONE MASONRY RETAINING WALL  
MAXIMUM HEIGHT - 4'-0"



GENERAL NOTE.

DIMENSION AND QUANTITIES		
N	A	QTY PLATE FT. OF WALL
2'-0"	2'-0"	U.30
4'-0"	2'-0"	H.02
6'-0"	2'-0"	20.89
8'-0"	2'-0"	24.71
10'-0"	2'-0"	28.53
12'-0"	2'-0"	32.35
14'-0"	2'-0"	36.17
16'-0"	2'-0"	39.99
18'-0"	2'-0"	43.81
20'-0"	2'-0"	47.63
22'-0"	2'-0"	51.45
24'-0"	2'-0"	55.27

WET STONE MASONRY RETAINING WALL  
4'-0" TO 15'-0"



NOTES:

1. SHALL BE IN ACCORDANCE WITH SECTION 308 OF THE STANDARD SPECIFICATIONS.
2. 1" x 4" - 4' (0.04) GAN POSTS FOR SLY FENCE SHALL BE LOCATED @ 10' (0.11) O.C. IN WETLAND AREAS AND 1" x 4" (0.04) O.C. IN WETLAND EXCEPT SALLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
3. 1" x 4" - 4' (0.04) POSTS PERMITTED FOR PRE-AGRICULTURAL SLY FENCE.
4. SLY FENCE SHALL BE INSTALLED BEFORE ANY GRADING OR EARTH EXCAVATION TAKES PLACE.

SILT FENCE DETAIL  
NOT TO SCALE

Revisions

4/24/00 RELEASED FOR PERMITTING/BIDDING

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RUMFORD, R.I. 02916

### DRIVEWAY AND PARKING IMPROVEMENTS MOSES BROWN SCHOOL

Providence Rhode Island

Drawing Title:

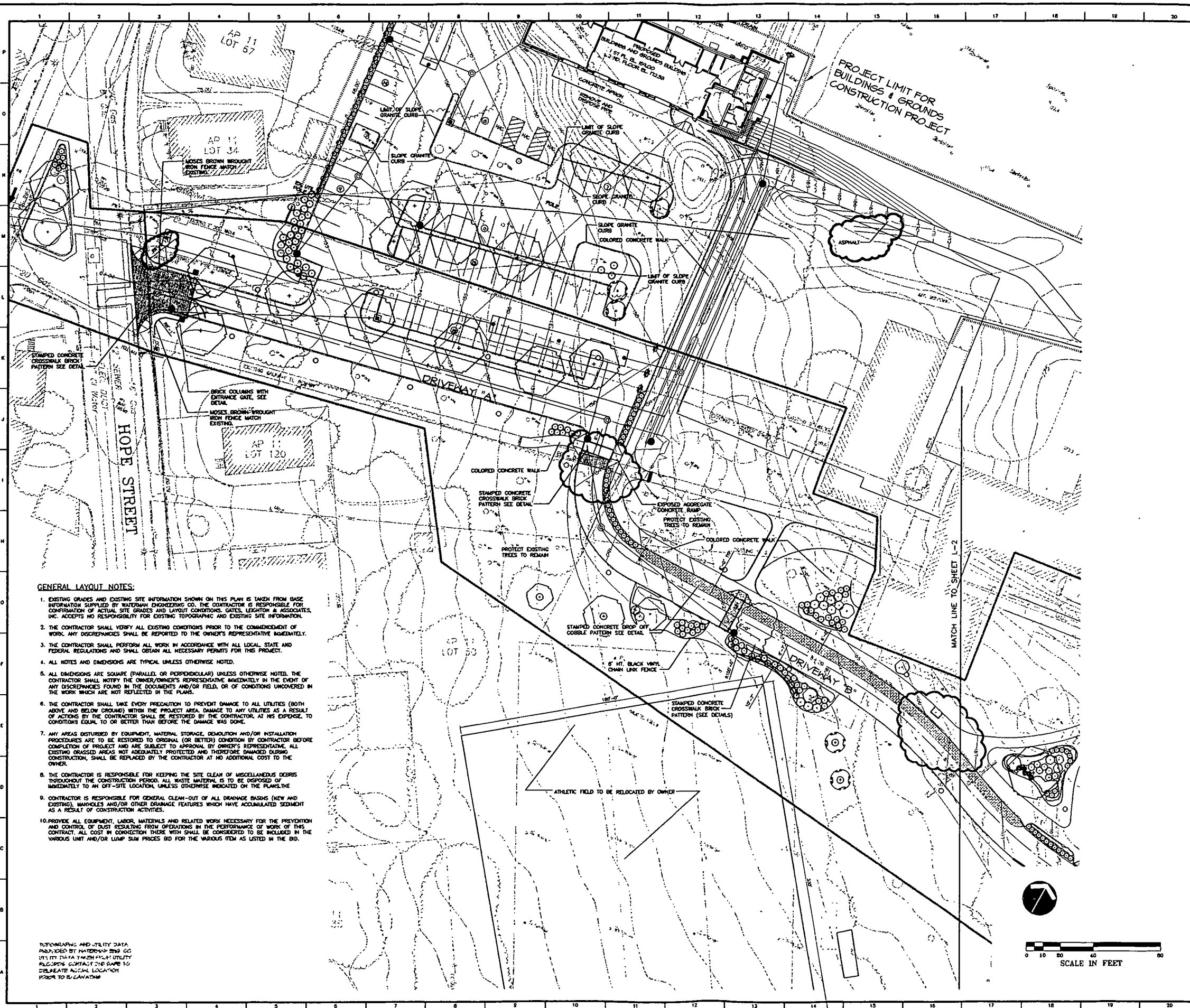
EAST PARKING AREA  
AND  
DRIVEWAY ENTRANCE

**Key Plan:**

[illegible]

C-8

Scale	Drying Number
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**GENERAL LAYOUT NOTES:**

1. EXISTING GRADES AND EXISTING SITE INFORMATION SHOWN ON THIS PLAN IS TAKEN FROM BASE INFORMATION SUPPLIED BY WATERMAN ENGINEERING CO. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMATION OF ACTUAL SITE GRADES AND LAYOUT CONDITIONS. GATES, LEIGHTON & ASSOCIATES, INC. ACCEPTS NO RESPONSIBILITY FOR EXISTING TOPOGRAPHIC AND EXISTING SITE INFORMATION.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
3. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS AND SHALL OBTAIN ALL NECESSARY PERMITS FOR THIS PROJECT.
4. ALL NOTES AND DIMENSIONS ARE TYPICAL UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE SQUARE (PARALLEL OR PERPENDICULAR) UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY THE OWNER/OWNER'S REPRESENTATIVE IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE DOCUMENTS AND/OR FIELD, OR OF CONDITIONS UNCOVERED IN THE WORK WHICH ARE NOT REFLECTED IN THE PLANS.
6. THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PREVENT DAMAGE TO ALL UTILITIES (BOTH ABOVE AND BELOW GROUND) WITHIN THE PROJECT AREA. DAMAGE TO ANY UTILITIES AS A RESULT OF ACTIONS BY THE CONTRACTOR SHALL BE RESTORED BY THE CONTRACTOR, AT HIS EXPENSE, TO CONDITIONS EQUAL TO OR BETTER THAN BEFORE THE DAMAGE WAS DONE.
7. ANY AREAS DISTURBED BY EQUIPMENT, MATERIAL STORAGE, DEMOLITION AND/OR INSTALLATION PROCEDURES ARE TO BE RESTORED TO ORIGINAL (OR BETTER) CONDITION BY CONTRACTOR BEFORE COMPLETION OF PROJECT AND ARE SUBJECT TO APPROVAL BY OWNER'S REPRESENTATIVE. ALL EXISTING GRASSES AREAS NOT ADEQUATELY PROTECTED AND THEREFORE DAMAGED DURING CONSTRUCTION, SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
8. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE SITE CLEAN OF MISCELLANEOUS DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. ALL WASTE MATERIAL IS TO BE DISPOSED OF IMMEDIATELY TO AN OFF-SITE LOCATION, UNLESS OTHERWISE INDICATED ON THE PLANS.
9. CONTRACTOR IS RESPONSIBLE FOR GENERAL CLEAN-OUT OF ALL DRAINAGE BASINS (NEW AND EXISTING), MANHOLES AND/OR OTHER DRAINAGE FEATURES WHICH HAVE ACCUMULATED SEDIMENT AS A RESULT OF CONSTRUCTION ACTIVITIES.
10. PROVIDE ALL EQUIPMENT, LABOR, MATERIALS AND RELATED WORK NECESSARY FOR THE PREVENTION AND CONTROL OF DUST RESULTING FROM OPERATIONS IN THE PERFORMANCE OF WORK OF THIS CONTRACT. ALL COST IN CONNECTION THERE WITH SHALL BE CONSIDERED TO BE INCLUDED IN THE VARIOUS UNIT AND/OR LUMP SUM PRICES BID FOR THE VARIOUS ITEM AS LISTED IN THE BID.

TOPOGRAPHIC AND UTILITY DATA  
ANALYZED BY WATERMAN ENGINEERING CO.  
UTILITY DATA TAKEN FROM UTILITY  
PLANS. CONTRACTOR SHALL BE RESPONSIBLE TO  
DETERMINE ACTUAL LOCATION  
PRIOR TO CONSTRUCTION.


Revisions:
REVISED 8/18/00



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One Main St., 3rd Floor, Providence, R.I. 02903-4400

**DRIVEWAY AND PARKING  
IMPROVEMENTS  
MOSES BROWN SCHOOL**

Providence Rhode Island

Drawing Title:

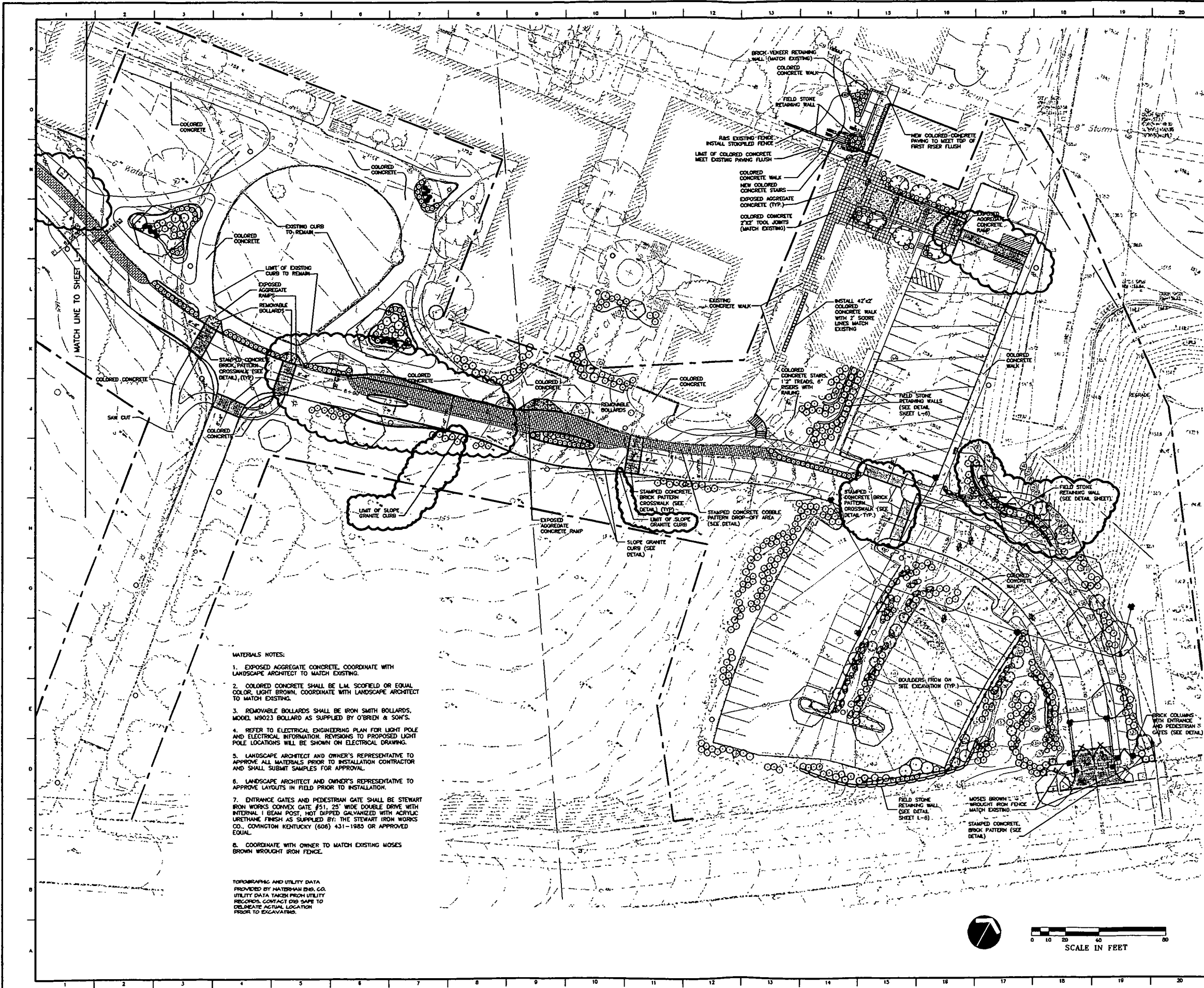
**WEST  
MATERIALS PLAN**

Scale:	Drawings Number:

L-1







- MATERIALS NOTES:**
1. EXPOSED AGGREGATE CONCRETE, COORDINATE WITH LANDSCAPE ARCHITECT TO MATCH EXISTING.
  2. COLORED CONCRETE SHALL BE L.M. SCOFIELD OR EQUAL COLOR, LIGHT BROWN, COORDINATE WITH LANDSCAPE ARCHITECT TO MATCH EXISTING.
  3. REMOVABLE BOLLARDS SHALL BE IRON SMITH BOLLARDS, MODEL M9023 BOLLARD AS SUPPLIED BY O'BRIEN & SON'S.
  4. REFER TO ELECTRICAL ENGINEERING PLAN FOR LIGHT POLE AND ELECTRICAL INFORMATION. REVISIONS TO PROPOSED LIGHT POLE LOCATIONS WILL BE SHOWN ON ELECTRICAL DRAWING.
  5. LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE TO APPROVE ALL MATERIALS PRIOR TO INSTALLATION CONTRACTOR AND SHALL SUBMIT SAMPLES FOR APPROVAL.
  6. LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE TO APPROVE LAYOUTS IN FIELD PRIOR TO INSTALLATION.
  7. ENTRANCE GATES AND PEDESTRIAN GATE SHALL BE STEWART IRON WORKS CONVEX GATE #51, 25' WIDE DOUBLE DRIVE WITH INTERNAL 1 BEAM POST, HOT DIPPED GALVANIZED WITH ACRYLIC URETHANE FINISH AS SUPPLIED BY THE STEWART IRON WORKS CO., COVINGTON KENTUCKY (606) 431-1985 OR APPROVED EQUAL.
  8. COORDINATE WITH OWNER TO MATCH EXISTING MOSES BROWN WROUGHT IRON FENCE.

TOPOGRAPHIC AND UTILITY DATA  
PROVIDED BY WATERMAN INC. CO.  
UTILITY DATA TAKEN FROM UTILITY  
RECORDS. CONTACT DGS S&P TO  
DETERMINE ACTUAL LOCATION  
PRIOR TO EXCAVATING.

Revisions:	
REVISED 6/16/00	

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100 Main St., 4th Floor, Providence, Rhode Island 02903

**DRIVEWAY AND PARKING  
IMPROVEMENTS  
MOSES BROWN SCHOOL**

Providence Rhode Island

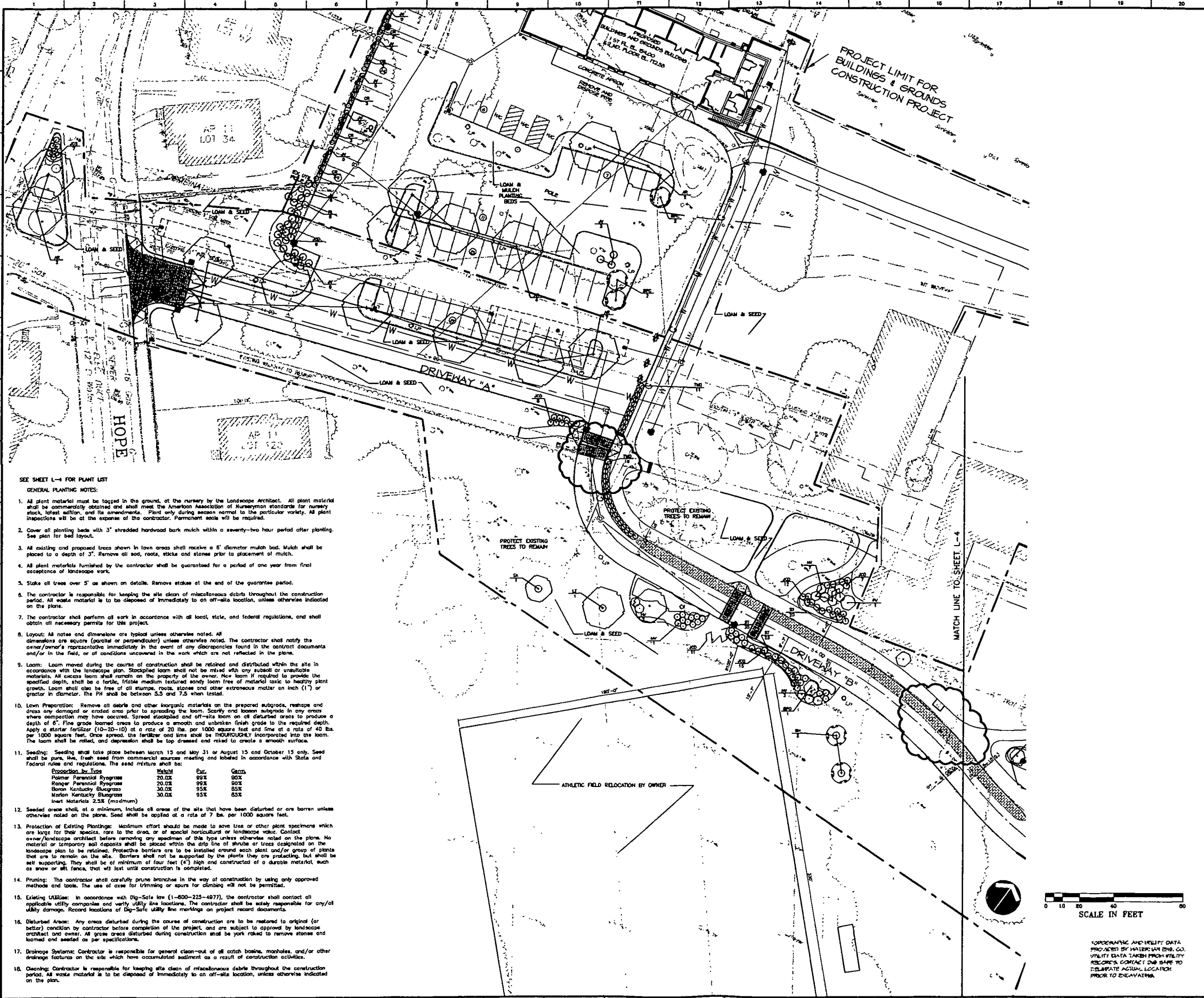
Drawing Title:

**EAST  
LANDSCAPE AND  
MATERIALS PLAN**

Key Plan:


**L-2**

Scale: Drawing Number:



- SEE SHEET L-4 FOR PLANT LIST
- GENERAL PLANTING NOTES:
1. All plant material must be tagged in the ground, at the nursery by the Landscape Architect. All plant material shall be commercially obtained and shall meet the American Association of Nurserymen standards for nursery stock, latest edition, and its amendments. Plant only during season normal to the particular variety. All plant inspections will be at the expense of the contractor. Permanent soils will be required.
  2. Cover all planting beds with 3" shredded hardwood bark mulch within a seventy-two hour period after planting. See plan for bed layout.
  3. All existing and proposed trees shown in lawn areas shall receive a 6" diameter mulch bed. Mulch shall be placed to a depth of 3". Remove all sod, roots, sticks and stones prior to placement of mulch.
  4. All plant materials furnished by the contractor shall be guaranteed for a period of one year from final acceptance of landscape work.
  5. Stake all trees over 5' as shown on details. Remove stakes at the end of the guarantee period.
  6. The contractor is responsible for keeping the site clean of miscellaneous debris throughout the construction period. All waste material is to be disposed of immediately to an off-site location, unless otherwise indicated on the plans.
  7. The contractor shall perform all work in accordance with all local, state, and federal regulations, and shall obtain all necessary permits for this project.
  8. Layout: All notes and dimensions are typical unless otherwise noted. All dimensions are square (parallel or perpendicular) unless otherwise noted. The contractor shall notify the owner/owner's representative immediately in the event of any discrepancies found in the contract documents and/or in the field, or at conditions uncovered in the work which are not reflected in the plans.
  9. Loam: Loam moved during the course of construction shall be retained and distributed within the site in accordance with the landscape plan. Stockpiled loam shall not be mixed with any subsoil or unsuitable materials. All excess loam shall remain on the property of the owner. New loam if required to provide the specified depth, shall be a fertile, friable medium textured sandy loam free of material toxic to healthy plant growth. Loam shall also be free of all stumps, roots, stones and other extraneous matter an inch (1") or greater in diameter. The PH shall be between 5.5 and 7.5 when tested.
  10. Lawn Preparation: Remove all debris and other inorganic materials on the prepared subgrade, reshape and dress any damaged or eroded area prior to spreading the loam. Scarify and loosen subgrade in any areas where compaction may have occurred. Spread stockpiled and off-site loam on all disturbed areas to produce a depth of 6". Fine grade loamed areas to produce a smooth and unbroken finish grade to the required depth. Apply a starter fertilizer (10-20-10) at a rate of 20 lbs. per 1000 square feet and lime at a rate of 40 lbs. per 1000 square feet. Once spread, the fertilizer and lime shall be thoroughly incorporated into the loam. The loam shall be rolled, and depression shall be top dressed and rolled to create a smooth surface.
  11. Seeding: Seeding shall take place between March 15 and May 31 or August 15 and October 15 only. Seed shall be pure, live, fresh seed from commercial sources meeting and labeled in accordance with State and Federal rules and regulations. The seed mixture shall be:

Proportion by Type	Weight	Pct.	Grain
Palmier Perennial Ryegrass	20.0%	99%	90%
Ranger Perennial Ryegrass	20.0%	99%	90%
Boron Kentucky Bluegrass	30.0%	95%	85%
Marion Kentucky Bluegrass	30.0%	95%	85%

Inert Materials 2.5% (maximum)
  12. Seeded areas shall, at a minimum, include all areas of the site that have been disturbed or are barren unless otherwise noted on the plans. Seed shall be applied at a rate of 7 lbs. per 1000 square feet.
  13. Protection of Existing Plantings: Maximum effort should be made to save tree or other plant specimens which are large for their species, rare to the area, or of special horticultural or landscape value. Contact owner/landscape architect before removing any specimen of this type unless otherwise noted on the plans. No material or temporary soil deposits shall be placed within the drip line of shrubs or trees designated on the landscape plan to be retained. Protective barriers are to be installed around each plant and/or group of plants that are to remain on the site. Barriers shall not be supported by the plants they are protecting, but shall be self supporting. They shall be at minimum of four feet (4') high and constructed of a durable material, such as snow or lift fence, that will last until construction is completed.
  14. Pruning: The contractor shall carefully prune branches in the way of construction by using only approved methods and tools. The use of axes for trimming or spurs for climbing will not be permitted.
  15. Existing Utilities: In accordance with Dig-Safe law (1-800-225-4877), the contractor shall contact all applicable utility companies and verify utility line locations. The contractor shall be solely responsible for any/all utility damage. Record locations of Dig-Safe utility line markings on project record documents.
  16. Disturbed Areas: Any areas disturbed during the course of construction are to be restored to original (or better) condition by contractor before completion of the project, and are subject to approval by landscape architect and owner. All areas disturbed during construction shall be rock rolled to remove stones and loamed and seeded as per specifications.
  17. Drainage Systems: Contractor is responsible for general clean-out of all catch basins, manholes, and/or other drainage features on the site which have accumulated sediment as a result of construction activities.
  18. Cleaning: Contractor is responsible for keeping site clean of miscellaneous debris throughout the construction period. All waste material is to be disposed of immediately to an off-site location, unless otherwise indicated on the plans.

Revisions:

NO.	DATE	DESCRIPTION
1	8/18/00	REVISED

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201 S. Main St., 2nd Floor, P.O. Box 1000, Pawtucket, RI 02860

**DRIVEWAY AND PARKING IMPROVEMENTS**  
MOSES BROWN SCHOOL

Providence Rhode Island

Drawing Title:

**WEST PLANTING PLAN**

Key Plan:

Scale: 1" = 40'

DATE: 8/18/00

BY: [Signature]

CHECKED: [Signature]

APPROVED: [Signature]

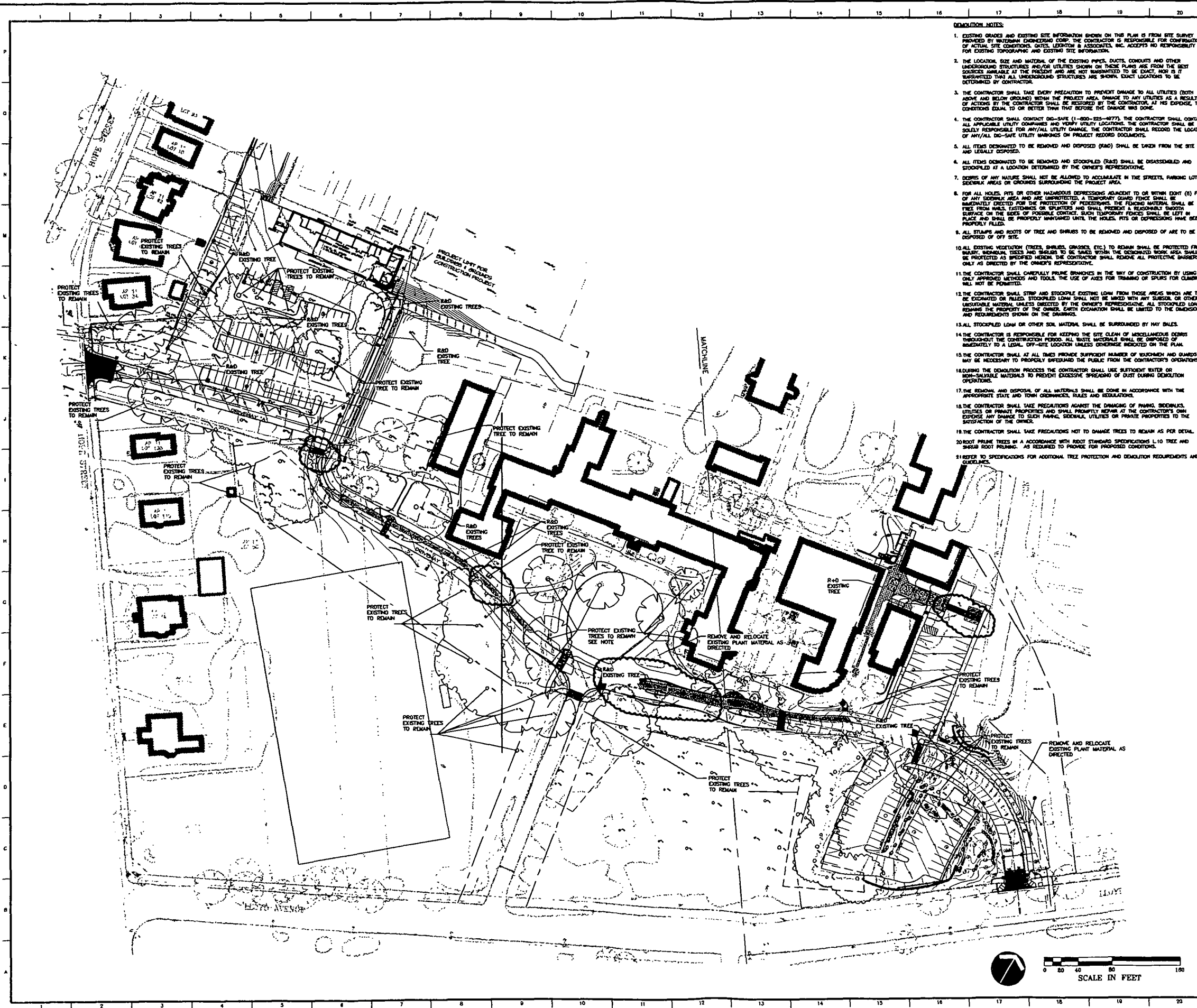
L-3

Spot: [Blank]

Drawing Number: [Blank]







- DEMOLITION NOTES:**
- EXISTING GRADES AND EXISTING SITE INFORMATION SHOWN ON THIS PLAN IS FROM SITE SURVEY PROVIDED BY WATSHAM ENGINEERING CORP. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMATION OF ACTUAL SITE CONDITIONS, DATES, LOCATION & ASSOCIATES, INC. ACCEPTS NO RESPONSIBILITY FOR EXISTING TOPOGRAPHIC AND EXISTING SITE INFORMATION.
  - THE LOCATION, SIZE AND MATERIAL OF THE EXISTING PIPES, DUCTS, CONDUITS AND OTHER UNDERGROUND STRUCTURES AND/OR UTILITIES SHOWN ON THESE PLANS ARE FROM THE BEST SOURCES AVAILABLE AT THE PRESENT AND ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND STRUCTURES ARE SHOWN. EXACT LOCATIONS TO BE DETERMINED BY CONTRACTOR.
  - THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PREVENT DAMAGE TO ALL UTILITIES (BOTH ABOVE AND BELOW GROUND) WITHIN THE PROJECT AREA. DAMAGE TO ANY UTILITIES AS A RESULT OF ACTIONS BY THE CONTRACTOR SHALL BE RESTORED BY THE CONTRACTOR AT HIS EXPENSE, TO CONDITIONS EQUAL TO OR BETTER THAN THAT BEFORE THE DAMAGE WAS DONE.
  - THE CONTRACTOR SHALL CONTACT DIG-SAFE (1-800-225-4877). THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITY COMPANIES AND VERIFY UTILITY LOCATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY/ALL UTILITY DAMAGE. THE CONTRACTOR SHALL RECORD THE LOCATION OF ANY/ALL DIG-SAFE UTILITY MARKINGS ON PROJECT RECORD DOCUMENTS.
  - ALL ITEMS DESIGNATED TO BE REMOVED AND DISPOSED (RAD) SHALL BE TAKEN FROM THE SITE AND LEGALLY DISPOSED.
  - ALL ITEMS DESIGNATED TO BE REMOVED AND STOCKPILED (RAS) SHALL BE DISASSEMBLED AND STOCKPILED AT A LOCATION DETERMINED BY THE OWNER'S REPRESENTATIVE.
  - DEBRIS OF ANY NATURE SHALL NOT BE ALLOWED TO ACCUMULATE IN THE STREETS, PARKING LOT, SIDEWALK AREAS OR OTHERWISE SURROUNDING THE PROJECT AREA.
  - FOR ALL HOLES, PITS OR OTHER HAZARDOUS DEPRESSIONS ADJACENT TO OR WITHIN (5) FEET OF ANY SIDEWALK AREA AND ARE UNPROTECTED, A TEMPORARY GUARD FENCE SHALL BE IMMEDIATELY DIRECTED FOR THE PROTECTION OF PEDESTRIANS. THE FENCING MATERIAL SHALL BE TIED FROM HAWKS, POSTED ON SPACERS AND SHALL PRESENT A REASONABLY SMOOTH SURFACE ON THE SIDES OF POSSIBLE CONTACT. SUCH TEMPORARY FENCES SHALL BE LEFT IN PLACE AND SHALL BE PROPERLY MAINTAINED UNTIL THE HOLES, PITS OR DEPRESSIONS HAVE BEEN PROPERLY FILLED.
  - ALL STUMPS AND ROOTS OF TREE AND SHRUBS TO BE REMOVED AND DISPOSED OF ARE TO BE DISPOSED OF OFF SITE.
  - ALL EXISTING VEGETATION (TREES, SHRUBS, GRASSES, ETC.) TO REMAIN SHALL BE PROTECTED FROM INJURY. MINOR TREES AND SHRUBS TO BE SAVED WITHIN THE DESIGNATED WORK AREA SHALL BE PROTECTED AS SPECIFIED HEREIN. THE CONTRACTOR SHALL REMOVE ALL PROTECTIVE BARRIERS ONLY AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
  - THE CONTRACTOR SHALL CAREFULLY PRUNE BRANCHES IN THE WAY OF CONSTRUCTION BY USING ONLY APPROVED METHODS AND TOOLS. THE USE OF AXES FOR TRIMMING OR SPURS FOR CLIMBING WILL NOT BE PERMITTED.
  - THE CONTRACTOR SHALL STRIP AND STOCKPILE EXISTING LOAM FROM THOSE AREAS WHICH ARE TO BE EXCAVATED OR FILLED. ANY STOCKPILED LOAM SHALL NOT BE MIXED WITH ANY DUNES, OR OTHER UNDESIRABLE MATERIAL UNLESS DIRECTED BY THE OWNER'S REPRESENTATIVE. ALL STOCKPILED LOAM REMAINS THE PROPERTY OF THE OWNER. EARTH EXCAVATION SHALL BE LIMITED TO THE DIMENSIONS AND REQUIREMENTS SHOWN ON THE DRAWINGS.
  - ALL STOCKPILED LOAM OR OTHER SOIL MATERIAL SHALL BE SURROUNDED BY HAY BALES.
  - THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE SITE CLEAN OF MISCELLANEOUS DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. ALL WASTE MATERIALS SHALL BE REMOVED IMMEDIATELY TO A LEGAL, OFF-SITE LOCATION UNLESS OTHERWISE INDICATED ON THE PLAN.
  - THE CONTRACTOR SHALL AT ALL TIMES PROVIDE SUFFICIENT NUMBER OF WORKMEN AND GUARDS AS MAY BE NECESSARY TO PROPERLY SUPERVISE THE PUBLIC FROM THE CONTRACTOR'S OPERATIONS.
  - DURING THE DEMOLITION PROCESS THE CONTRACTOR SHALL USE SUFFICIENT WATER OR NON-SALVABLE MATERIALS TO PREVENT EXCESSIVE SPREADING OF DUST DURING DEMOLITION OPERATIONS.
  - THE REMOVAL AND DISPOSAL OF ALL MATERIALS SHALL BE DONE IN ACCORDANCE WITH THE APPROPRIATE STATE AND LOCAL ORDINANCES, RULES AND REGULATIONS.
  - THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST THE DAMAGING OF PUBLIC, BUSINESS, UTILITIES OR PRIVATE PROPERTIES AND SHALL PROMPTLY REPAIR AT THE CONTRACTOR'S OWN EXPENSE ANY DAMAGE TO SUCH PAVING, SIDEWALKS, UTILITIES OR PRIVATE PROPERTIES TO THE SATISFACTION OF THE OWNER.
  - THE CONTRACTOR SHALL TAKE PRECAUTIONS NOT TO DAMAGE TREES TO REMAIN AS PER DETAIL.
  - ROOT PRUNE TREES IN A ACCORDANCE WITH ROOT STANDARD SPECIFICATIONS L-10 TREE AND SHRUB ROOT PRUNING, AS REQUIRED TO PROVIDE FOR PROPOSED CONDITIONS.
  - REFER TO SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION AND DEMOLITION REQUIREMENTS AND GUIDELINES.

Revisions:  
REVISED 6/16/00

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100 State St. 3rd Floor Providence, RI 02903

**DRIVEWAY AND PARKING IMPROVEMENTS**  
MOSES BROWN SCHOOL

Providence Rhode Island  
Drawing Title:

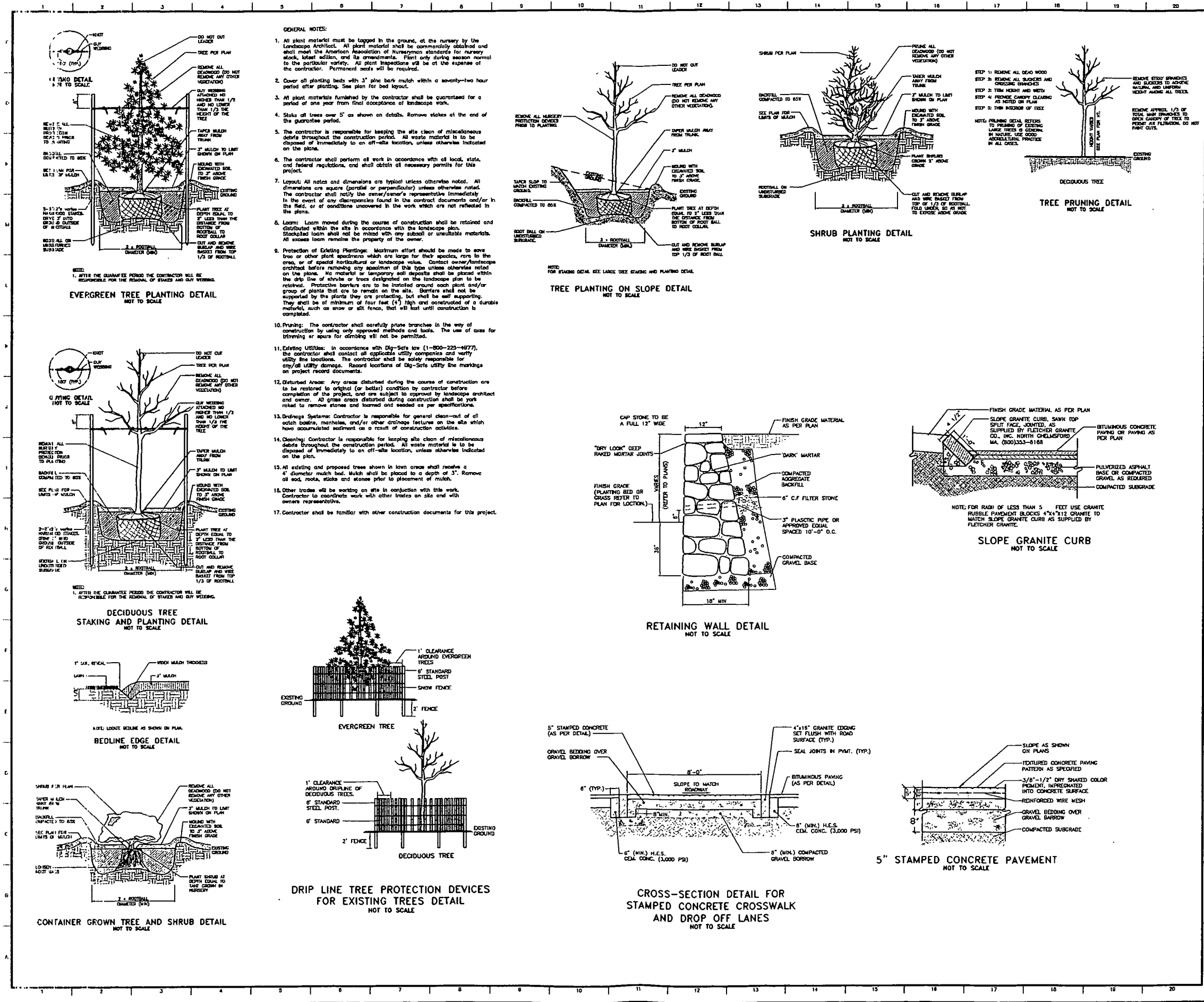
**TREE PROTECTION AND TREE DEMOLITION PLAN**

Key Plan:

Project No.	100-0000
Sheet No.	100-0000
Scale	1"=20'-0"
Date	6-16-00

L-5

Seal: Drawing Number:



Revisions:

1	
2	
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**RHINEBECK**  
ARCHITECTURE & PLANNING P.C.  
21 East Market Street, Rhinebeck, New York 12572  
Tel 914 876-2832 Fax 914 876-2885  
E-Mail Rhinebeck@aol.com

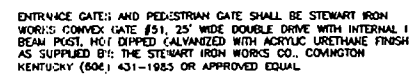
**CAPUTO AND WICK LTD.**  
1150 PAWTUCKET AVE.  
RUMFORD, R.I. 02916

**Gates, Leighton & Associates, Inc.**  
LANDSCAPE ARCHITECTS  
201 Valley Ave., 2nd Floor, W. Hartford, CT 06108-1000

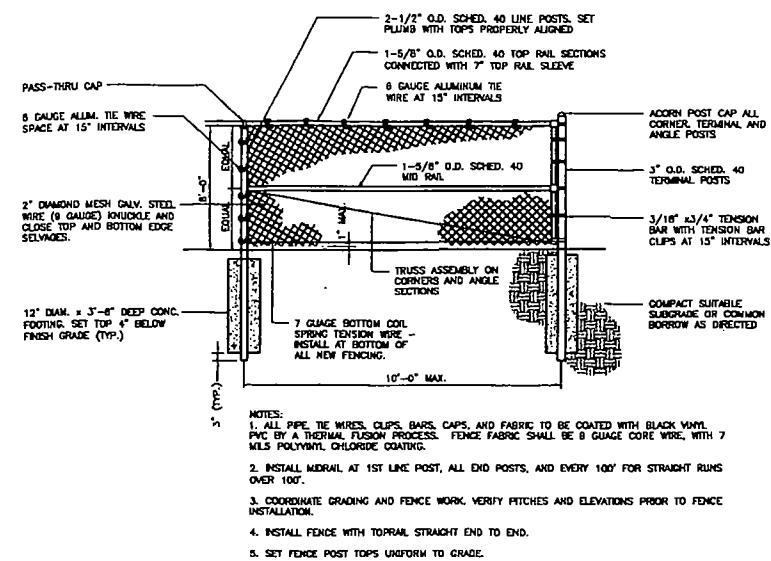
**DRIVEWAY AND PARKING IMPROVEMENTS**  
MOSES BROWN SCHOOL  
Providence Rhode Island  
Drawing Title:  
**LANDSCAPE AND MATERIALS DETAIL SHEET**  
Key Plan:  

1	2	3	4	5	6	7	8	9	10	11	12
1	2	3	4	5	6	7	8	9	10	11	12

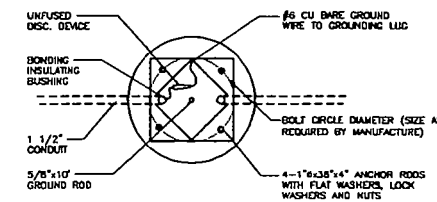
Scale:	Drawing Number:
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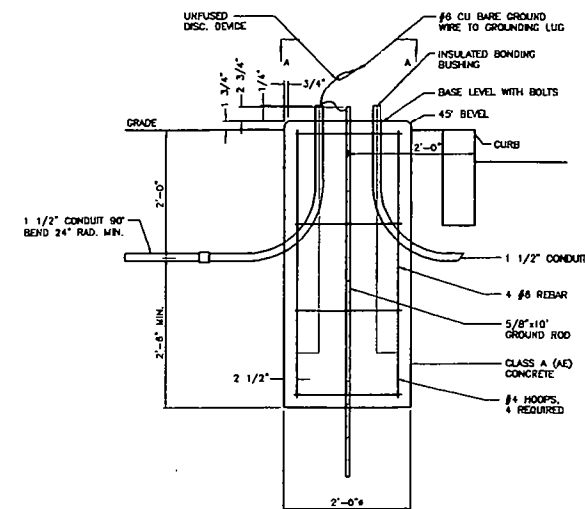
ENTRANCE GATES  
NOT TO SCALE



CHAIN LINK FENCE - VINYL COATED  
NOT TO SCALE



SECTION A-A



SECTION  
LIGHT POLE FOUNDATION DETAIL  
NOT TO SCALE

### Revisions:



**RHINEBECK**  
ARCHITECTURE & PLANNING P C

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**Gates, Leighton & Associates, Inc.**  
LANDSCAPE ARCHITECTURE  
4000 Wilshire Ave., Los Angeles 48, Calif. 90048-4000 Tel. (213) 475-1000

### DRIVEWAY AND PARKING IMPROVEMENTS MOSES BROWN SCHOOL

Providence	Rhode Island
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**Drawing Title:**

LANDSCAPE AND  
MATERIALS  
DETAIL SHEET

**Key Plan:**

3-10-82	3-10-82
C-10710	C-10710
C-10710.5	C-10710.5

L-7

Soil: \_\_\_\_\_ Drawing Number: \_\_\_\_\_