

# City of Providence

STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS

## CHAPTER 1990 - 31

No. 611 **AN ORDINANCE** in amendment of and in addition to chapter 1984-17 of the Ordinance of the City of Providence approved March 9, 1984 and entitled "An Ordinance Approving and Adopting the Official Redevelopment Plan for the Upper South Providence Revitalization Project" for additional acquisition and development controls, as Amended.

*Approved* December 26, 1990

### *Be it ordained by the City of Providence:*

1. That Chapter 1984-17 of the Ordinance of the City of Providence, approved March 9, 1984, and entitled, "An Ordinance Approving and Adopting the Official Redevelopment Plan for the Upper South Providence Revitalization Project" be and the same is hereby further amended as follows:
  - A. Lots 39, 40, 164, 575 and 576 on Assessor's Plat 45 designated for acquisition in Section 2 entitled "Proposed Acquisition" under Chapter E entitled "Plan Proposals" is contained and set forth on Page 20 of the certain booklet entitled "Upper South Providence Official Redevelopment Project" which is a part of the aforementioned Ordinance, be and the same are hereby deleted.
  - B. Add the following properties to the acquisition list in Section E.2 entitled "Proposed Acquisition" as contained and set forth on Page 20 of the certain booklet entitled, "Upper South Providence Official Redevelopment Project" which is part of the aforementioned Ordinance.

#### LIST OF ACQUISITION

<u>PLAT</u>	<u>LOT</u>	<u>LOCATION</u>
23	374	277 Dudley Street
23	375	232 Dudley Street
23	376	236 Dudley Street
23	377	242 Dudley Street
23	378	246 Dudley Street
23	379	252 Dudley Street
23	380	254 Dudley Street
23	381	260 Dudley Street
23	382	264 Dudley Street
23	383	268 Dudley Street
23	384	272 Dudley Street
23	385	276 Dudley Street
23	386	280 Dudley Street
23	387	282 Dudley Street
23	561	351 Blackstone Street
23	562	347 Blackstone Street
23	563	343 Blackstone Street

No.

**CHAPTER**

**AN ORDINANCE**

1907

1908

1909

1910

<u>PLAT</u>	<u>LOT</u>	<u>LOCATION</u>
23	564	339 Blackstone Street
23	565	335 Blackstone Street
23	566	331 Blackstone Street
23	567	327 Blackstone Street
23	568	323 Blackstone Street
23	569	321 Blackstone Street
23	570	315 Blackstone Street
23	571	311 Blackstone Street
23	572	307 Blackstone Street
23	573	303 Blackstone Street
23	391	298 Dudley Street
23	392	302 Dudley Street
23	395	316 Dudley Street
23	396	318 Dudley Street
23	397	324 Dudley Street
23	398	326 Dudley Street
23	400	332 Dudley Street
23	401	336 Dudley Street
23	551	393 Blackstone Street
23	552	389 Blackstone Street
23	556	371 Blackstone Street
23	443	375R Blackstone Street
23	558	367 Blackstone Street
23	458	365 Blackstone Street
23	559	363 Blackstone Street
23	574	299 Blackstone Street
23	575	181 Prairie Avenue
23	405	254R Dudley Street
23	363	171 Prairie Avenue
23	368	175 Prairie Avenue
45	623	328 Blackstone Street
45	624	320 Blackstone Street
45	626	316 Blackstone Street
45	627	314 Blackstone Street
45	628	312 Blackstone Street
45	791	310 Blackstone Street
45	528	21 Comstock Avenue
45	529	25 Comstock Avenue
45	530	31 Comstock Avenue
45	531	35 Comstock Avenue
45	532	39 Comstock Avenue
45	533	41 Comstock Avenue
45	616	360 Blackstone Street
45	613	372 Blackstone Street
45	610	384 Blackstone Street
45	545	93 Comstock Avenue
45	543	83 Comstock Avenue
45	542	77 Comstock Avenue
45	571	94 Comstock Avenue
45	757	86 Comstock Avenue
45	107	84 Comstock Avenue
45	218	64 Comstock Avenue
45	33	3 Harvard Avenue
45	28	21 Harvard Avenue
45	29	19 Harvard Avenue
45	22	47 Harvard Avenue
45	25	35 Harvard Avenue
45	26	31 Harvard Avenue

C. Add the following sections under Section F.1 entitled "Land Disposition" as contained in and set forth on Page 22 of the certain booklet entitled "Upper South Providence Redevelopment Project" prior to the section entitled "C-2 Commercial Zone".

R-3 General Residential Zone(1) Permitted Uses

(a) R-3 General Residential uses of the City of Providence Zoning Ordinance shall be permitted within the Area except for: Apartment Hotel or Hotel, Fraternity or Sorority House, Rooming House, or Lodging House or Tourist Home.

(2) Development Controls for Permitted R-3 Uses

(a) Maximum Density, Minimum Lot Size, Lot Coverage, Building Setbacks, and Building Heights

Shall be governed by applicable provisions of the Zoning Ordinance as amended to date.

(b) Building Construction - The construction of buildings shall conform to the regulations set forth in the Building Ordinance of the City of Providence, as amended to date.

(c) Dwelling Accommodations - All living units shall be full family dwelling accommodations, having separate and private access, complete bathroom and kitchen, and shall be otherwise in full conformity with the requirements of Chapter 1040, Ordinance of the City of Providence, entitled "The Ordinance Providing Minimum Standards for Housing", as approved July 19, 1956 and as amended to date.

(d) Name Plate or Sign - For each dwelling unit, one name plate not exceeding 1/2 square foot in area, shall be permitted, indicating the name and/or address if the occupant or any permitted occupation, and shall be suitably integrated with the architectural design of the structure which it identifies. The size, design, placement and number of signs must be specified in all redevelopment proposals. The replacement or addition of any sign during the duration of the plan must be approved by the Agency. The Agency in its sole and absolute discretion shall have the final right of approval.

(e) Off-Street Parking - Two off-street parking spaces for each dwelling unit shall be provided. The Agency in its sole and absolute discretion shall have the final right of approval.

(f) Paving for Accessory Parking - Paving on residential lots shall be limited to the following:

- (1) The front yard may only be used for a driveway to access a garage or parking area located on the side or rear yard. Parking is not permitted in the front yard;
- (2) Only one side of the yard shall be paved for parking;
- (3) Only forty percent (40%) of the rear yard area shall be permitted to be paved for parking.

The Agency, in its sole and absolute discretion, shall have the final right of approval.

(g) Overnight Off-Street Parking - In residential zones, overnight off-street outside parking shall be specifically prohibited for pleasure vehicles, including: campers, recreational vehicles, boats and the like. Pleasure vehicles shall be parked overnight in a garage or in the rear yard.

(h) Landscaping, On-Site Improvements and Maintenance - All unbuilt areas of the site shall be provided, where needed, with suitable, properly designed and constructed walks and access drives. All unbuilt and unpaved areas of the site shall be suitably planted and permanently maintained with grass, shrubs, and trees; except where the Agency approves, an area not in excess of 20% of the unbuilt and unpaved area may be landscaped with another material for decorative purposes, or a garden only. Outdoor parking areas shall be effectively landscaped with trees and shrubs to reduce the visual impact of glare, headlights and parking lot lights from the public right-of-way and from adjoining properties and to enhance the aesthetic quality of the area.

After fully developed, the land, building and other improvements within the area shall be maintained in good repair and in clean and sanitary condition. Sufficient and suitable refuse and garbage storage and disposal facilities including structural enclosures where appropriate shall be provided and properly maintained. The Agency in its sole and absolute discretion shall have the final right of approval.

(i) Design Review Criteria - All plans for proposed buildings or rehabilitation of existing buildings shall be reviewed for sensitivity of design to the architectural character of the neighboring area. The Agency shall review all plans and shall have the final right of approval. Issues in design to be considered shall include:

- (1) Roofline and building heights;
- (2) Exterior sheathing materials such as clapboard, wood shingles, or brick materials; no vinyl siding;
- (3) Distance from legal sidewalk line;
- (4) Ingress/egress;
- (5) Parking areas;
- (6) Fencing /landscaping.

(j) Additional Applicable Controls are Listed Below Under the Headings:

- (1) "Other Conditions, Covenants, Restrictions and Provisions Controlling the Development and Use of Acquired Land and Improvements" (See Page 29).
- (2) "Miscellaneous Provisions" (See Page 31).

R-1 One Family Zone(1) Permitted Uses

(a) R-1 Residential Uses of the City of Providence Zoning Ordinance shall be permitted within the area except for: Park, Playground, Community Center, Crop or Tree Farming or Public Parking Area.

(b) Parcel No. 4 and Parcel No. 5 as indicated on Map No. 5, entitled "Disposition Map" shall be developed only for one family residential structures.

(2) Development Controls for Permitted R-1 Uses

(a) Maximum Density, Minimum Lot Size, Lot Coverage, Building Setbacks, and Building Heights

Shall be governed by applicable provisions of the Zoning Ordinance as amended to date.

(b) Building Construction - The construction of buildings shall conform to the regulations set forth in the Building Ordinance of the City of Providence, as amended to date.

(c) Dwelling Accommodations - All living units shall be full family dwelling accommodations, having separate and private access, complete bathroom and kitchen, and shall be otherwise in full conformity with the requirements of Chapter 1040, Ordinance of the City of Providence, entitled "The Ordinance Providing Minimum Standards for Housing", as approved July 19, 1956 and as amended to date.

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The Agency in its sole and absolute discretion shall have the final right of approval.

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- (2) Exterior sheathing materials such as clapboard, wood shingles, or brick materials; no vinyl siding,
- (3) Distance from legal sidewalk line;
- (4) Ingress/egress
- (5) Parking areas;
- (6) Fencing/landscaping.

j) Additional Applicable Controls are Listed Below  
Under the Headings:

(1) "Other Conditions, Covenants, Restrictions and Provisions Controlling the Development and Use of Acquired Land and Improvements" (See Page 29).

(2) "Miscellaneous Provisions" (See Page 31).

- D. Add the following under Section B.3: "Site Improvements" as contained and set forth beginning on Page 10 of the certain booklet entitled "Upper South Providence Official Redevelopment Plan":

In addition, Parcels 2 and 3, abutting the Dudley Street Recreation Center shall be dedicated for public purposes. Their development shall provide expanded recreational space for the area.

- E. The following maps of the aforementioned Official Redevelopment Plan which is part of the aforementioned Ordinance, hereinafter identified are deleted:

1. Map No. 1, "Existing Land Use and Zoning", Upper South Providence Redevelopment Project, dated, January, 1984.
2. Map No. 2, "Proposed Land Use and Zoning", Upper South Providence Redevelopment Project, dated, January, 1984.
3. Map No. 3, "Proposed Acquisition", Upper South Providence Redevelopment Project, dated, January, 1984.
4. Map No. 4, "Disposition and Proposed Activity Map", Upper South Providence Redevelopment Project, dated, January, 1984.

- F. Insert the following maps in their stead:

1. Map No. 1, "Land Use", Sheets one (1) through four (4), PRA Upper South Providence/Trinity Gateway Project, dated, September, 1990.
2. Map No. 2, "Proposed Zoning", Upper South Providence Redevelopment Project, dated, September, 1990.
3. Map No. 3, "Proposed Acquisition", Upper South Providence Redevelopment Project, dated, September, 1990.
4. Map No. 4, "Disposition and Proposed Activity Map", Upper South Providence Redevelopment Project, dated, September, 1990.



- G. Paragraph numbered 7 entitled "Estimated Cost of Redevelopment and Proposed Method of Financing" as contained in and set forth on Page 34 of that certain booklet entitled "Upper South Providence Official Redevelopment Plan, 1984", which is a part of the aforementioned ordinance need not be amended. All new expenditures shall be paid through available bond funds.
2. That said Chapter 1984-17 of the Ordinance of the City of Providence as adopted and as heretofore amended, be and the same is hereby ratified and affirmed in all other respects.
3. That this Ordinance shall take effect on its passage and shall be filed with the City Clerk who is hereby authorized and directed to forward a certified copy thereof to the Providence Redevelopment Agency.

A true copy,  
Attest:

Rose M. Mendonca  
City Clerk

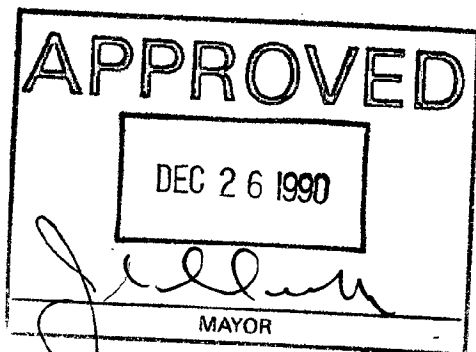
IN CITY COUNCIL

OCT 18 1990

First Reading Read and Passed  
Referred to Committee on

URBAN REDEVELOPMENT  
RENEWAL & PLANNING

*Rose M. Mendonca* CLERK



IN CITY  
COUNCIL

DEC 20 1990

FINAL READING  
READ AND PASSED

*Vincent W. Emdin*  
PRESIDENT

*Rose M. Mendonca*  
CLERK

7:14 PM  
OCT 12 11 25 AM '90  
DEPT. OF PLANNING  
PROVIDENCE, R.I.

THE COMMITTEE ON URBAN REDEVELOPMENT  
RENEWAL & PLANNING










Recommends *Be Continued*  
Michael R. Clement  
Dec. 10, 1990 Clerk

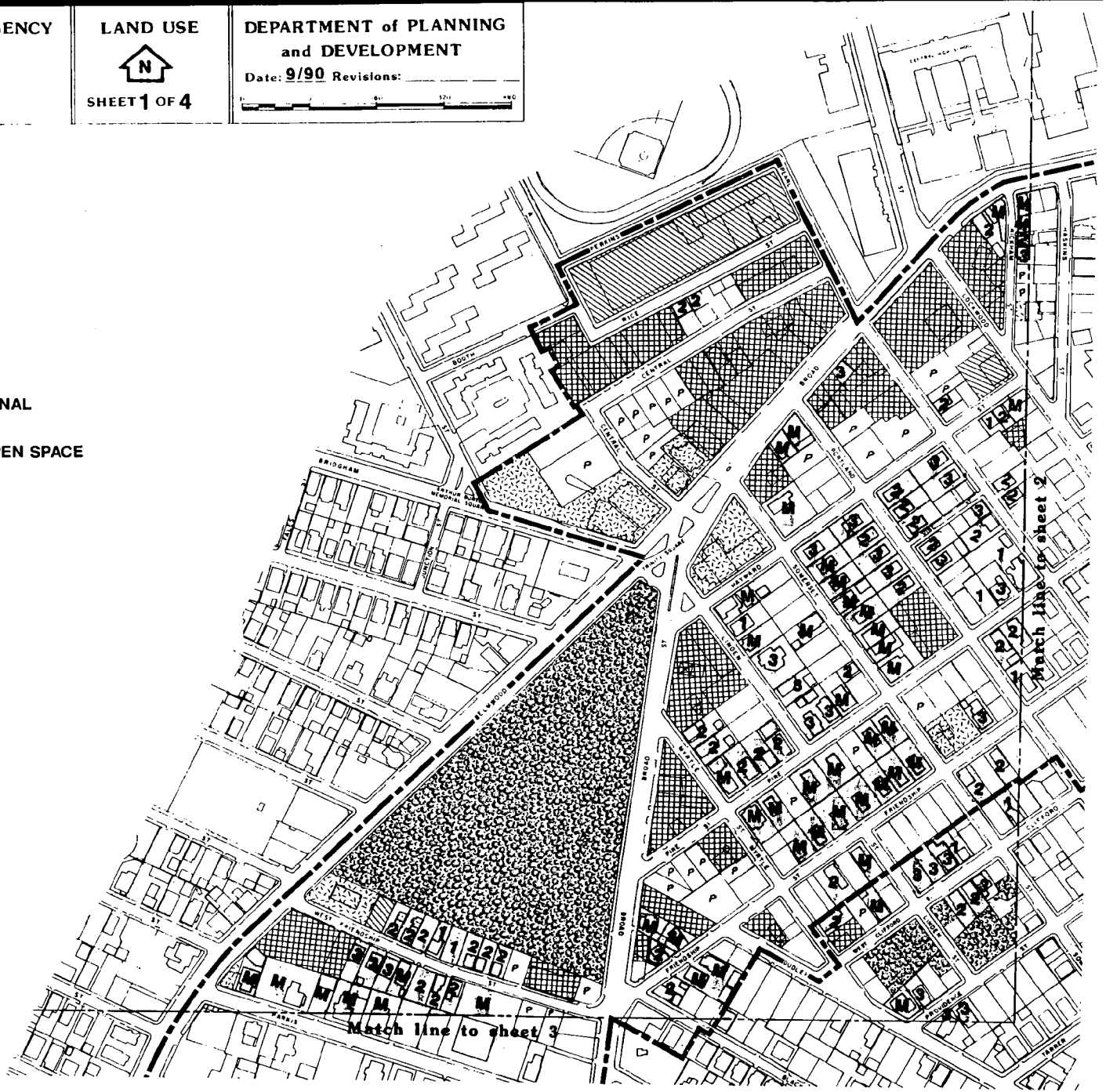
*Councilwoman Young (By Request)*

CONCURRED  
IN CILA  
DEPT. OF PLANNING  
PROVIDENCE, R.I.  
THE COMMITTEE ON  
URBAN REDEVELOPMENT  
RENEWAL & PLANNING  
Approves Passage of  
The Within Ordinance, *the Second Time,*  
*as amended*  
Rosa M. Mendonca  
Chairman  
December 14, 1990



Legend

- RESIDENTIAL**
-  One Family
  -  Two Family
  -  Three Family
  -  Multi-Family
- COMMERCIAL**
-  INDUSTRIAL
-  GENERAL INSTITUTIONAL
-  EDUCATIONAL
-  RECREATION AND OPEN SPACE
-  PARKING



PROVIDENCE REDEVELOPMENT AGENCY

Upper South Providence /  
Trinity Gateway Project

LAND USE



SHEET 2 OF 4

DEPARTMENT of PLANNING  
and DEVELOPMENT

Date: 9/90 Revisions:

Legend

RESIDENTIAL

- 1 One Family
- 2 Two Family
- 3 Three Family
- M Multi-Family

COMMERCIAL

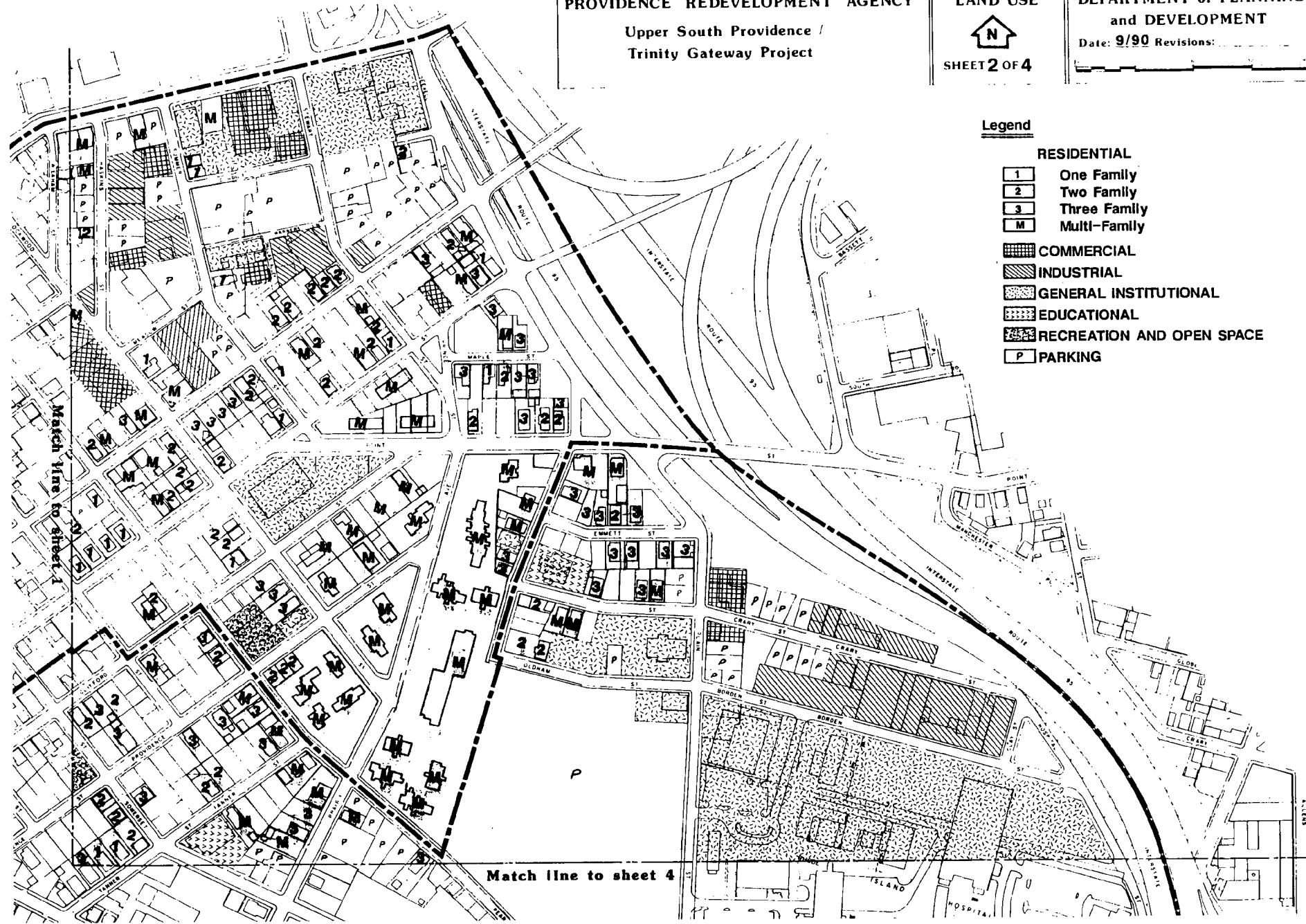
INDUSTRIAL

GENERAL INSTITUTIONAL

EDUCATIONAL

RECREATION AND OPEN SPACE

P PARKING



**RESIDENTIAL**

- 1** One Family
- 2** Two Family
- 3** Three Family
- M** Multi-Family

**COMMERCIAL**

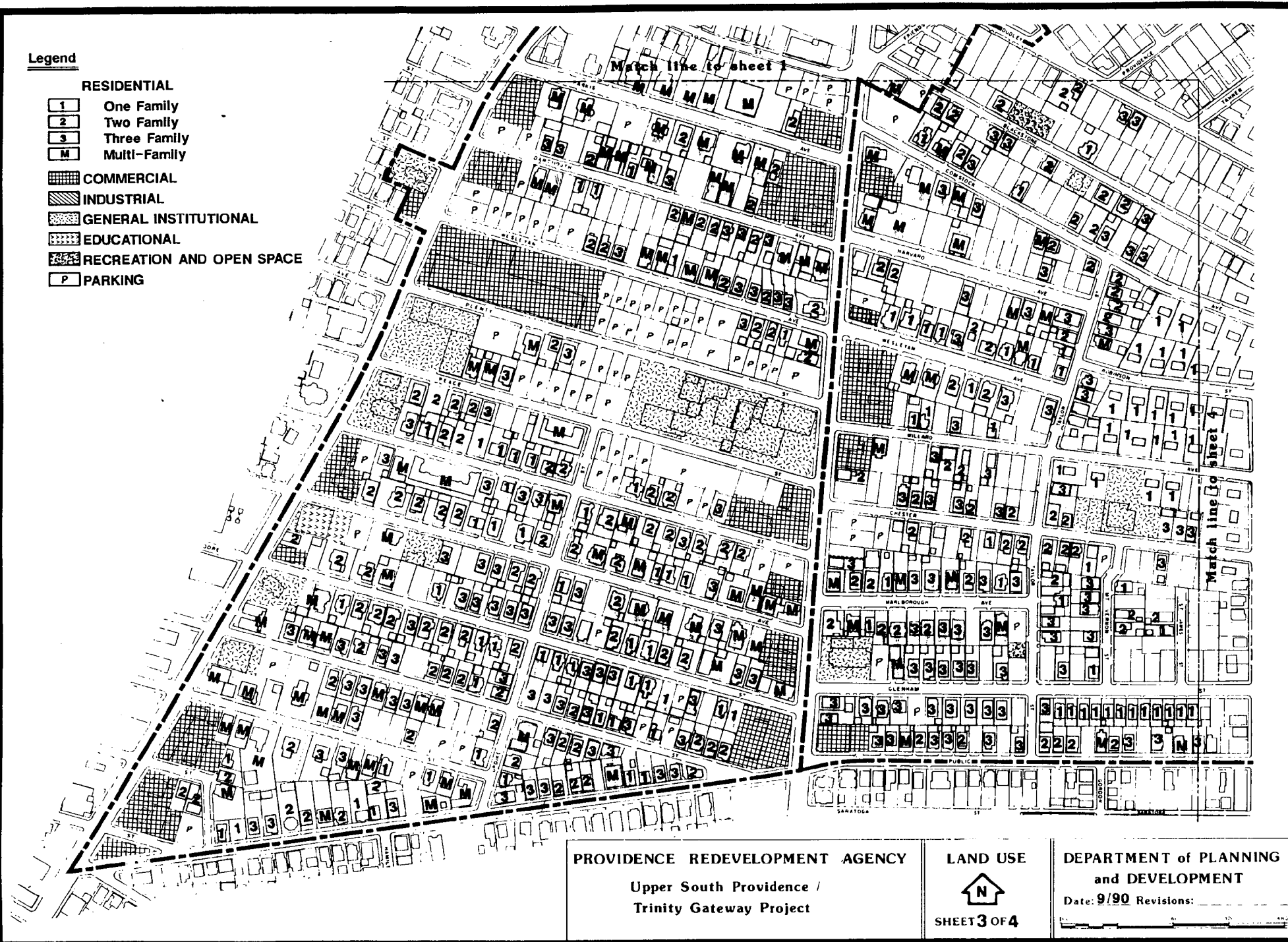
**INDUSTRIAL**

**GENERAL INSTITUTIONAL**

**EDUCATIONAL**

**RECREATION AND OPEN SPACE**

**P** **PARKING**



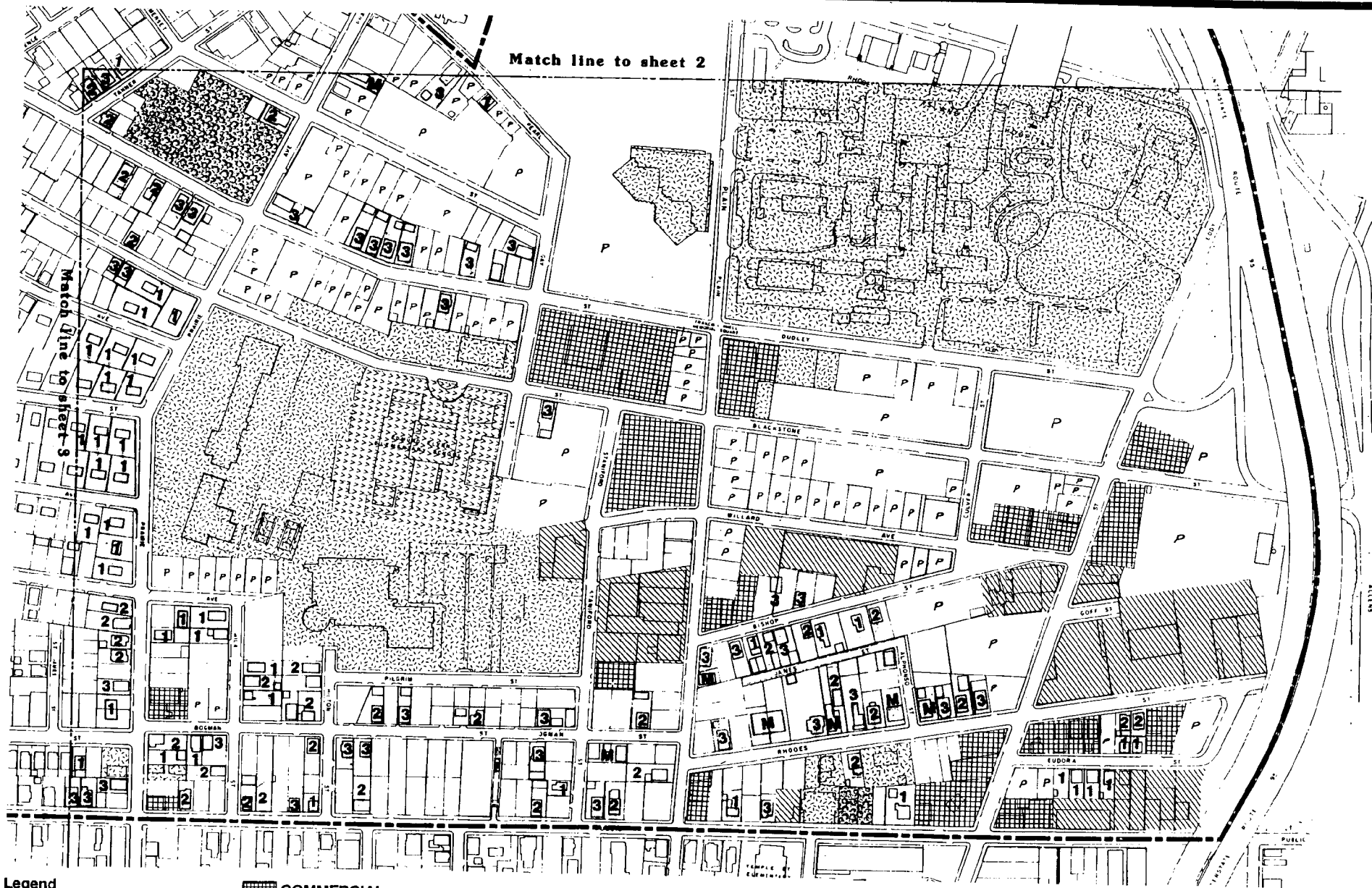
**PROVIDENCE REDEVELOPMENT AGENCY**  
**Upper South Providence /**  
**Trinity Gateway Project**

LAND USE



SHEET 3 OF 4

**DEPARTMENT of PLANNING  
and DEVELOPMENT**  
Date: **9/90** Revisions:



**Legend**

**RESIDENTIAL**

- 1 One Family
- 2 Two Family
- 3 Three Family
- M Multi-Family

COMMERCIAL

INDUSTRIAL

GENERAL INSTITUTIONAL

EDUCATIONAL

RECREATION AND OPEN SPACE

PARKING

PROVIDENCE REDEVELOPMENT AGENCY

Upper South Providence /  
Trinity Gateway Project

LAND USE



SHEET 4 OF 4

DEPARTMENT of PLANNING  
and DEVELOPMENT

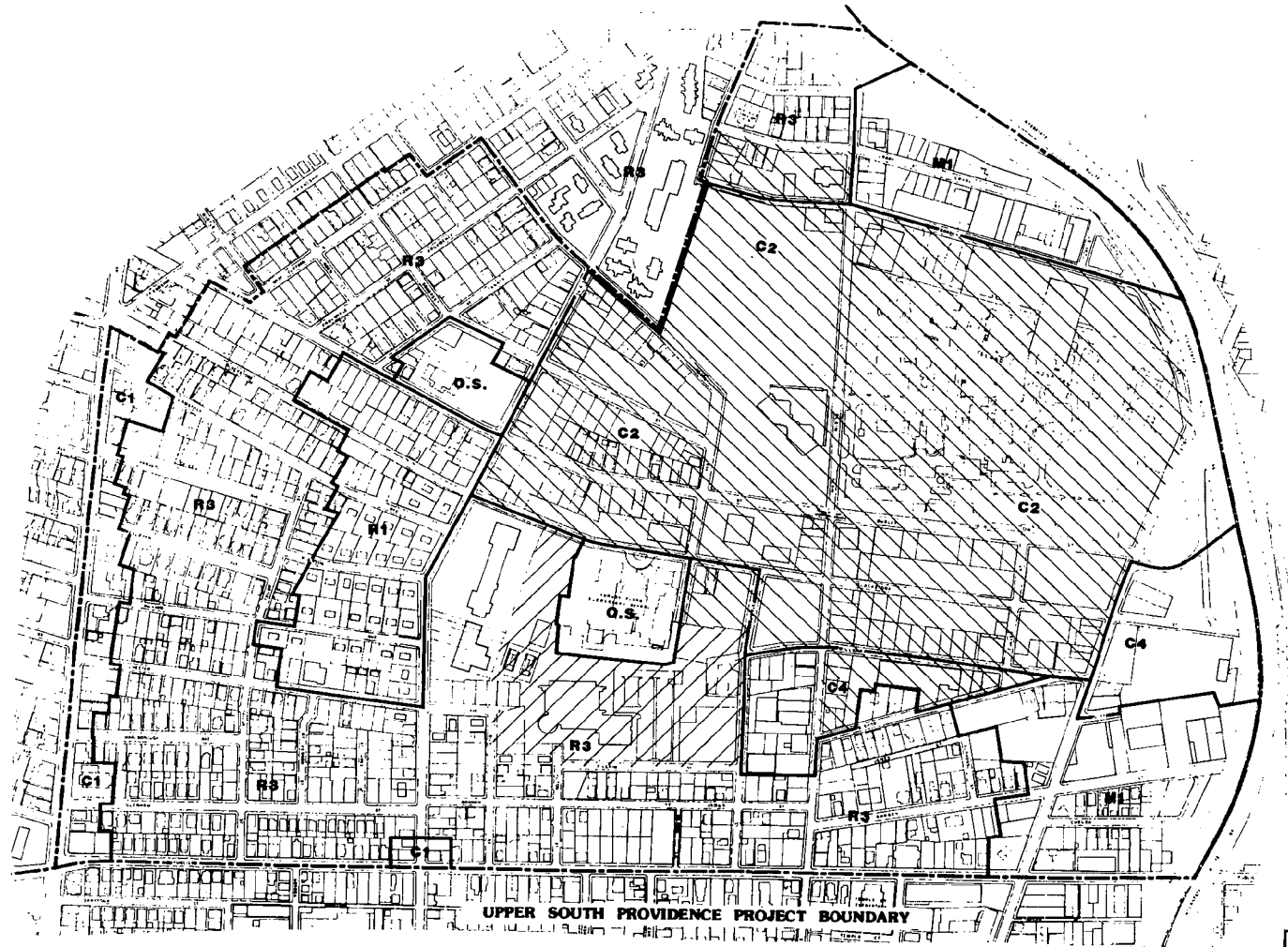
Date: 9/90 Revisions: \_\_\_\_\_

**PROPOSED ZONING**

- R-1 ONE FAMILY DISTRICT
- R-3 GENERAL RESIDENCE DISTRICT
- C-1 LIMITED COMMERCIAL DISTRICT
- C-2 GENERAL COMMERCIAL DISTRICT
- C-4 HEAVY COMMERCIAL DISTRICT
- M-1 INDUSTRIAL DISTRICT
- O.S. OPEN AND PUBLIC SPACE DISTRICT

**OVERLAY ZONE**

- I-1 HEALTH CARE INSTITUTIONS
- I-2 EDUCATIONAL INSTITUTIONS



**PROPOSED ZONING**

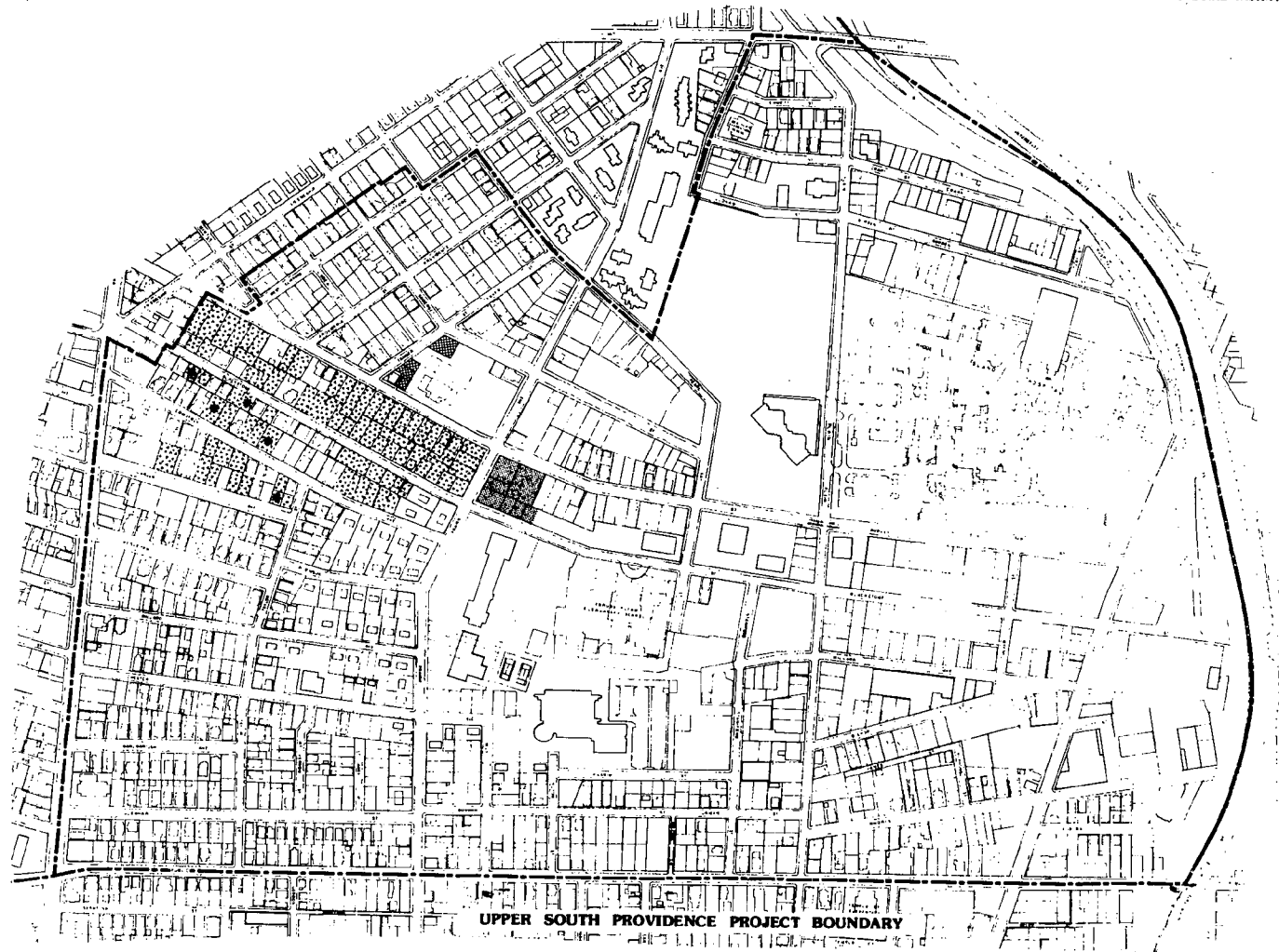
**UPPER SOUTH PROVIDENCE  
REDEVELOPMENT PROJECT**

DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF PROVIDENCE

DATE: JANUARY 1984	SCALE: 1"=100'	FILE NO.
REVISIONS: Sept. 1990		MAP NO. STATUS
		2



- PROJECT BOUNDARY
- PROPERTY ACQUIRED THROUGH ORIGINAL PLAN
- PROPERTY DESIGNATED FOR ACQUISITION THROUGH ORIGINAL PLAN
- ▨ PROPERTY TO BE ACQUIRED THROUGH PLAN AMENDMENT NO. 1
- PROPERTY NOT TO BE ACQUIRED
- \* PROPERTY TO BE CONVEYED FROM THE SPECIAL VACANT LOT PROGRAM



UPPER SOUTH PROVIDENCE PROJECT BOUNDARY

PROPOSED ACQUISITION			
UPPER SOUTH PROVIDENCE REDEVELOPMENT PROJECT			
DEPARTMENT OF PLANNING AND DEVELOPMENT CITY OF PROVIDENCE			
DATE: JANUARY, 1982	SCALE: 1"=100'	FILE NO.	
REVISIONS: Sept. 1980		MAP NO.	3
		STATUS	



- PROJECT BOUNDARY
- DISPOSITION PARCELS
- PRIMARY TARGET AREA FOR HOUSING REHABILITATION
- INTERSECTIONS FOR POTENTIAL SITE IMPROVEMENTS

ORIGINAL APPLICATION

SITE AREA	USE	DISPOSITION METHOD
1	DELETED	
2	5,824 PUB.	DEDICATION
3	4,344	
TOTAL 10,168		

AMENDATORY APPLICATION NO. 1

SITE AREA	USE	DISPOSITION METHOD
4	128,805 RES.	SALE
5	75,723	
6	36,426	
7	16,180	
8	16,394	
9	5,534	
10	6,553	
11	25,821	
12	7,179	
TOTAL 321,753		

DISPOSITION			
UPPER SOUTH PROVIDENCE REDEVELOPMENT PROJECT			
DEPARTMENT OF PLANNING AND DEVELOPMENT CITY OF PROVIDENCE			
DATE: JANUARY 1984	SCALE: 1"=80'	FILE NO.	
REVISIONS: Sept. 1990		MAP NO.	4
		STATUS	

EDMUND M. MAURO, JR.  
Chairman

JOSEPH R. ESPOSITO, JR.  
Vice Chairman

LESLIE A. GARDNER

STEPHEN R. LEWINSTEIN

ALBERT E. CARRINGTON

JOHN H. ROLLINS

DAVID G. DILLON

THOMAS V. MOSES, ESQ.

Executive Director

JOHN F. PALMIERI

Secretary

MAYOR JOSEPH R. PAOLINO, JR.

Ex-Officio



PROVIDENCE REDEVELOPMENT AGENCY

October 11, 1990

Mrs. Rose M. Mendonca  
City Clerk  
City Clerk's Office  
City Hall  
Providence, Rhode Island 02903

RE: Ordinance in Amendment of the  
Official Redevelopment Plan for  
the Upper South Providence  
Redevelopment Project

Dear Mrs. Mendonca:

Enclosed is an original and fifteen (15) copies of an  
Ordinance in Amendment of the Official Redevelopment Plan for the  
Upper South Providence Project.

This Ordinance constitutes Amendment #1 to the Official  
Redevelopment Plan and provides for the acquisition of seventy-  
five (75) lots. Since these underutilized lots present negative  
impact to the area, it is proposed that the land be acquired and  
advertised for residential development to be offered for sale with  
the requirement of owner occupancy. The primary recommendation  
includes the development of new housing and the rehabilitation of  
existing housing. In addition, the plan amendment provides for  
changes in zoning, infrastructure improvements, traffic circulation  
changes and expansion of outdoor recreation space at the Dudley  
Street Recreation Center.

Financing for the proposed revitalization activities proposed  
in this amendment is being provided through available bond funds  
issued for the original project plan.


Since this amendment provides for the acquisition of property,  
the enabling legislation requires that a public hearing be held. A  
notice of said public hearing must be published not less than once

Mrs. Rose Mendonca  
October 11, 1990  
Page 2

a week for three (3) consecutive weeks. Please notify me of the scheduled date so that we may insert public notices in the Providence Journal and Evening Bulletin.

It is respectfully requested that this Ordinance be placed on the Agenda for the City Council as soon as possible.

Sincerely,

  
John F. Palmieri  
Secretary

cc: Thomas V. Moses, Esq.  
Thomas E. Deller, AICP  
Linda DeCiccio  
Councilwoman Balbina Young

Enclosures

# **UPPER SOUTH PROVIDENCE TRINITY GATEWAY REVITALIZATION PROJECT**

**Amendment #1 to the Upper South Providence Redevelopment Project**

**Amendment #2 to the Trinity Gateway Revitalization Project**

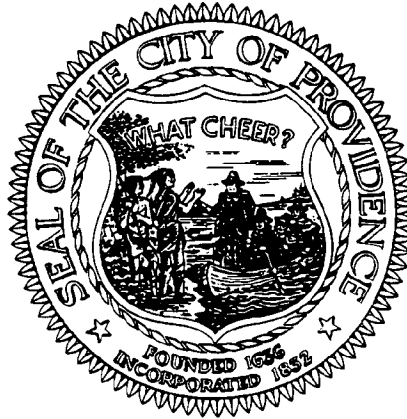


**Department of Planning and Development**

**Providence, Rhode Island**

**October, 1990**

MAYOR JOSEPH R. PAOLINO, JR.  
PROVIDENCE REDEVELOPMENT AGENCY



DEPARTMENT OF PLANNING AND DEVELOPMENT

Thomas V. Moses, Esq., Director  
John F. Palmieri, Deputy Director  
Thomas E. Deller, AICP, Associate Director of Planning

PLANNING TEAM

Elisa Silverstein Heath  
Linda DeCiccio  
Bruno Mollo  
Richard Piscione  
Beverly Shechtman

Soo Dip Chin  
Ronald Mercurio  
George Turlo  
Edward Grant  
JoAnn Penta

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## **EXECUTIVE SUMMARY**

This report constitutes Amendment #2 to the Providence Redevelopment Agency's Trinity Gateway Revitalization Plan of 1983, and Amendment #1 to the Upper South Providence Renewal Plan of 1984.

Planning in both Upper South Providence and the Trinity Gateway Redevelopment Districts has been an ongoing process for several decades. Efforts on the parts of both the private and the public sectors resulted in an end to the urban renewal demolition activities in the area, in an effort to encourage reinvestment and rebuilding that is sensitive to the history of the areas.

Today these areas contain a mixture of resident types, including those with an interest in upgrading their neighborhoods. Such an interest on the parts of area residents, representatives and the City Department of Planning and Development prompted a combined study of the Upper South Providence neighborhood and the Trinity Gateway Redevelopment District. A number of issues were studied, including existing land use and zoning, building conditions, property ownership, development plans, historic zoning and infrastructural concerns such as traffic and street lighting.

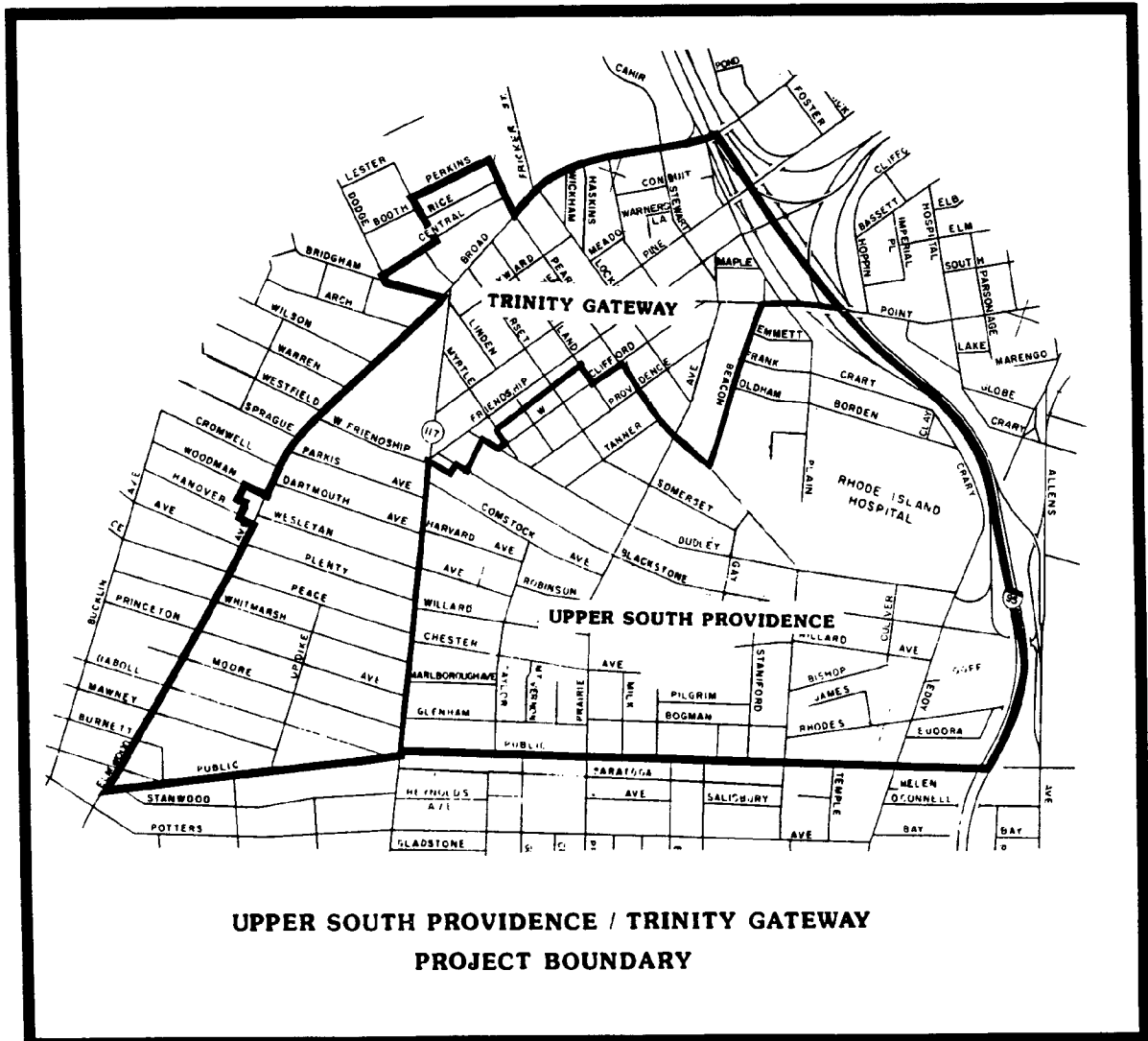
The future of the area depends upon eliminating the blighted, underutilized parcels, the enhancement of the housing stock and the development of recreational areas and neighborhood commercial uses, to service the influx of new residents. This Plan offers specific solutions to the problems which exist in the area, including property acquisition, re-zoning, infrastructure improvements and encouragement of owner occupancy.

Ultimately the success of this project relies upon cooperative efforts of all parties involved. Through planning and coordination, the goals of this project may be realized.



## INTRODUCTION

The Upper South Providence neighborhood and the Trinity Gateway Renewal area in the City of Providence have traditionally been the areas in which immigrants have settled, from as far back as the early 1800's, to the present time. The area has always been characterized by smaller lots, increased residential densities and narrower streets. Characteristically, as well, is the neighborhoods' diverse populations. Since the earlier settling of the Irish and Jewish immigrants, various nationalities have emigrated to this area. More recently, during the 1980's, Spanish-speaking immigrants began to settle here.



The area was very rural as late as 1900, characterized by slaughterhouses and even farms. Rolling hills slowly gave way to industrial and institutional development, as the industrial age started to spread to the "other" side of the river and the downtown commerce center. Upper South Providence and the Trinity Gateway area began to emerge as strong economic neighborhoods from 1900 to 1950, probably the most stable era for those portions of the City to date.

However, urban renewal and construction of the interstate highway system essentially eliminated the close network established in the area, and long-time residents started to migrate out. The social and economic structure of the area started to dissolve as residents began to work outside of the neighborhood. Businesses relocated and absentee landlords became more and more common. The overall stability of the neighborhoods substantially decreased.

A number of studies and projects have occurred in the two areas, representing a great deal of public and private involvement and investment. In 1972, the Lockwood Street Redevelopment Project was established in Upper South Providence. This project sought to eliminate blighted properties and to build new housing. In May of 1983, the Trinity Gateway Revitalization Project was approved by the City Council, including the northwest portion of Upper South Providence in its project boundaries. Finally, in 1984, the Upper South Providence Redevelopment Plan was developed. The plan determined the need to discontinue demolition of housing, to encourage re-investment in existing housing and to replace housing units already lost to demolition. In addition, new commercial and industrial uses were aided and encouraged to support local needs, in terms of employment and services.

This plan represents an amendment to both the 1983 Trinity Gateway Revitalization Project Plan and the 1984 Upper South Providence Renewal Plan. The two neighborhood areas are studied together because of their proximity to each other, and because regional issues exist which transcend the area boundaries. Both areas contain remnants of their history, in terms of architecture and housing, and have very strong neighborhood interest groups. Both areas house major institutions; in fact the amount of institutionally-used land is significant in both areas.

Infrastructure improvements are common needs in these areas. Gateways to the areas and thoroughways to the institutions are deficient, relying too heavily on roads more suited to local traffic. Finally, these areas are experiencing significant increases in housing and therefore, in new residents. Yet the amount of new commercial and other service uses in the area is insufficient to meet the needs of the heavy influx of new residents.

A demographic analysis of the two areas shows an increase in total population between 1980 and 1989 of 300 persons, or four percent. It is projected that while this high rate of influx of new residents into the area is going to slow, by the year 1994 total population will have increased another 0.3 percent.\* Current trends in households and families nationwide suggest that the study area will house more and more single-headed households. This indicates an increase in a need for employment, commercial and service-oriented uses, and recreation areas to be located closer to the home. Thus, the Upper South Providence/Trinity Gateway area, which is already deficient in terms of provision of these services, will now more than ever need to start attracting development to serve an increasing population, with increasing demands for facilities and services.

Thus, while each area has a unique set of problems, Upper South Providence and Trinity Gateway share a number of issues, as well. This plan attempts to unite the two areas in terms of infrastructure improvements and zoning changes which cross the project boundaries, while developing unique goals for each area, to satisfy specific problems experienced in each. Much of the history of the areas has been eliminated through abuse, demolition and urban renewal. Yet the urban neighborhood fabric of the areas still exists, and this plan seeks to reinstate the Upper South Providence/Trinity Gateway area as a vital, safe urban neighborhood within the City of Providence.

\* The demographic information is derived from Census Tract estimates prepared by CACI, Inc. The data was compiled for the study area by using portions of Census Tracts 3, 4, 6, 7, and 12.

# ANALYSIS OF EXISTING CONDITIONS

## METHODOLOGY

The first step in preparing a plan such as this one is to take an inventory of existing conditions. In doing so, we can identify the strengths and weaknesses which reflect the area's stability. The primary purpose of surveying is two fold:

1) to gather information and data in order to best determine the nature and extent of the problems and 2) to provide the foundation for alternative solutions to the problems examined. Once a clear focus of problems, assets, and potentials is identified, the basis is formed for establishing a revitalization plan.

The following reflects the results of the study phase. Existing conditions are reflected on a neighborhood level for the purpose of identifying specific issues and problems within each of the two areas.

In the South Providence/Trinity Gateway area, residentially-used lots account for thirty-two percent (32%) of all lots; commercially-used lots account for nine percent (9%); industrial - five percent (5%); general institutional - seventeen percent (17%); educational institutions - two percent (2%); recreation and open space lands (including cemeteries) - four percent (4%); and parking - seventeen percent (17%). Vacant or underutilized lots equal twelve percent (12%) of the total lot area of Upper South Providence and Trinity Gateway combined.



## UPPER SOUTH PROVIDENCE

The following are the findings of a survey of the neighborhood's physical character.

### LAND USE

CATEGORY	LOT AREA	PERCENT OF TOTAL AREA
RESIDENTIAL		
One Family	417,100	(5%)
Two Family	453,824	(6%)
Three Family	605,671	(8%)
Multi-Family	292,991	(4%)
COMMERCIAL	1390,236	(5%)
INDUSTRIAL	461,189	(6%)
INSTITUTIONAL		
General	1,799,345	(23%)
Education	309,420	(4%)
PARKING	1,673,634	(22%)
RECREATION/OPEN SPACE	165,677	(2%)
VACANT/UNDERUTILIZED	1,167,584	(15%)

Please refer to Figure 1. for "Existing Land Use Map".

### BUILDING CONDITION

Based upon a windshield survey in the neighborhood, the conditions of the residential, commercial and mixed use structures were estimated. Ratings were determined as follows:

- EXCELLENT: Exterior well maintained; no  
          apparent structural problems
- GOOD : Exterior requires minor maintenance;  
          apparent structural problems
- DETERIORATED: Exterior requires major maintenance;  
          strucutral problems.



PROVIDENCE REDEVELOPMENT AGENCY

Upper South Providence /  
Trinity Gateway Project

LAND USE



SHEET 1 OF 4

DEPARTMENT of PLANNING  
and DEVELOPMENT

Date: 9/90 Revisions: \_\_\_\_\_

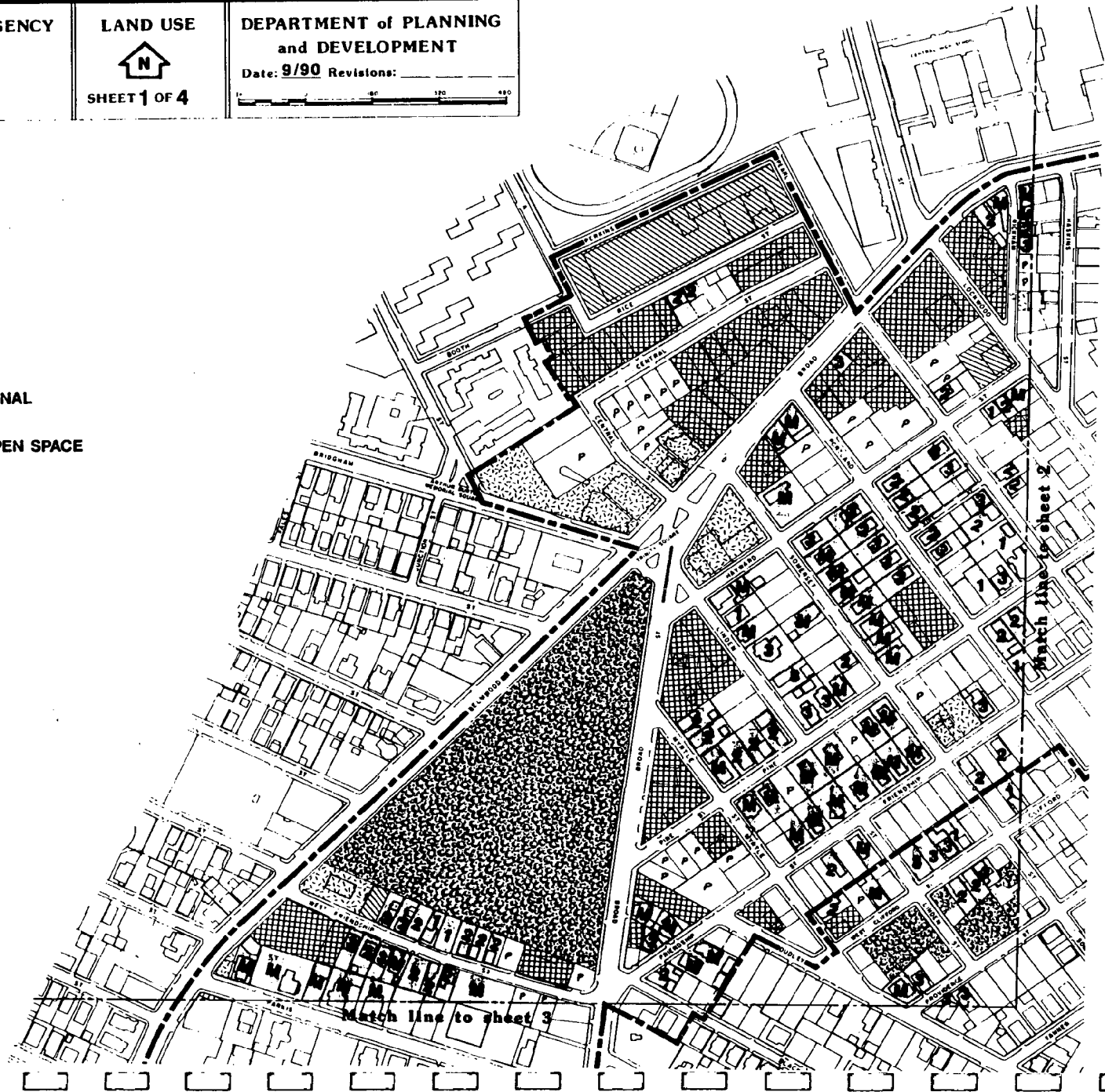


Legend

RESIDENTIAL

- 1 One Family
- 2 Two Family
- 3 Three Family
- M Multi-Family

- [Cross-hatch pattern] COMMERCIAL
- [Diagonal lines] INDUSTRIAL
- [Stippled pattern] GENERAL INSTITUTIONAL
- [Dotted pattern] EDUCATIONAL
- [Large dot pattern] RECREATION AND OPEN SPACE
- [P in a box] PARKING



PROVIDENCE REDEVELOPMENT AGENCY

Upper South Providence /  
Trinity Gateway Project

LAND USE



SHEET 2 OF 4

DEPARTMENT of PLANNING  
and DEVELOPMENT

Date: 9/90 Revisions:

Legend

RESIDENTIAL

- 1 One Family
- 2 Two Family
- 3 Three Family
- M Multi-Family

COMMERCIAL

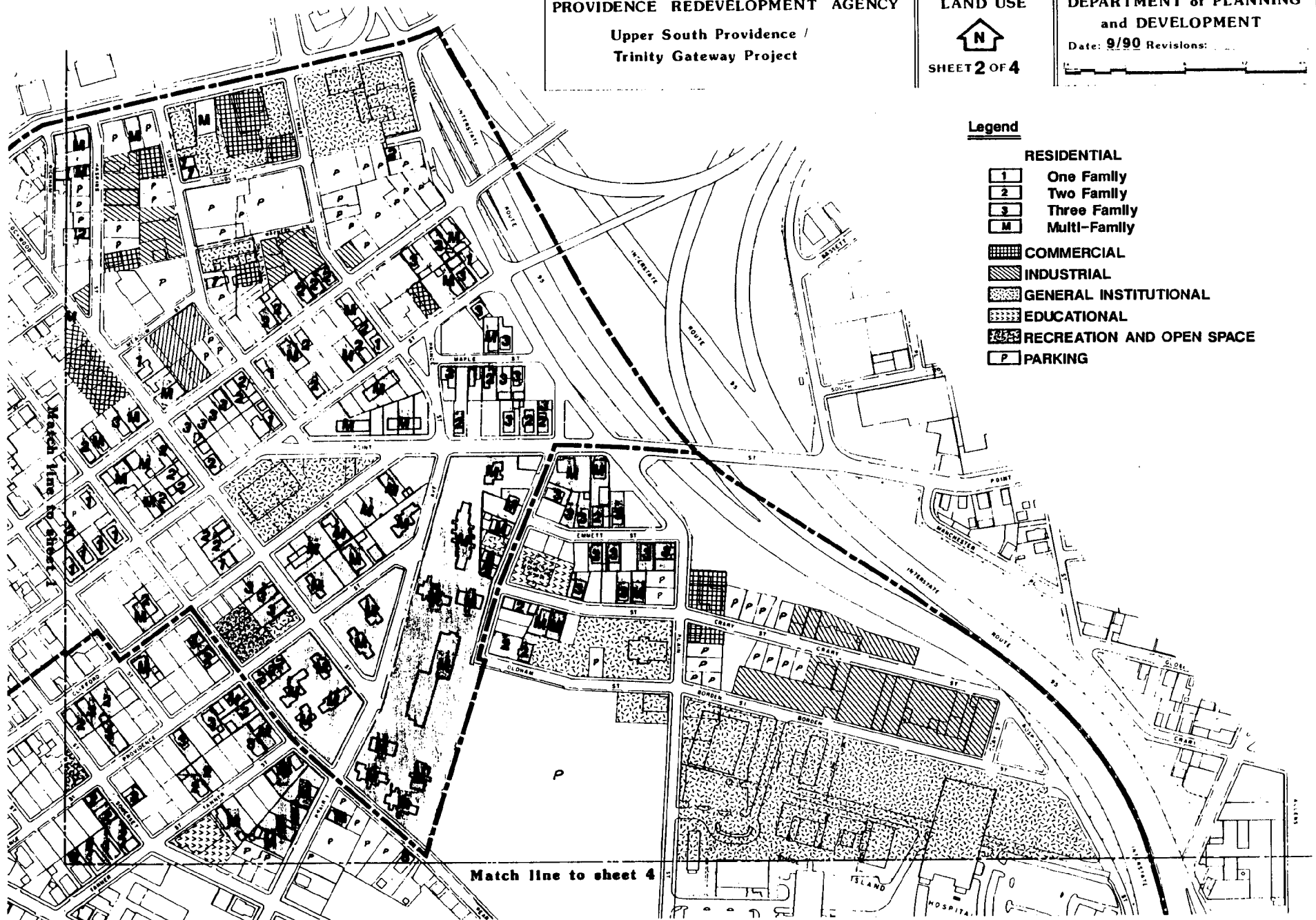
INDUSTRIAL

GENERAL INSTITUTIONAL

EDUCATIONAL

RECREATION AND OPEN SPACE

P PARKING



Match line to sheet 4



# Legend

## RESIDENTIAL

- 1 One Family
- 2 Two Family
- 3 Three Family
- M Multi-Family

COMMERCIAL

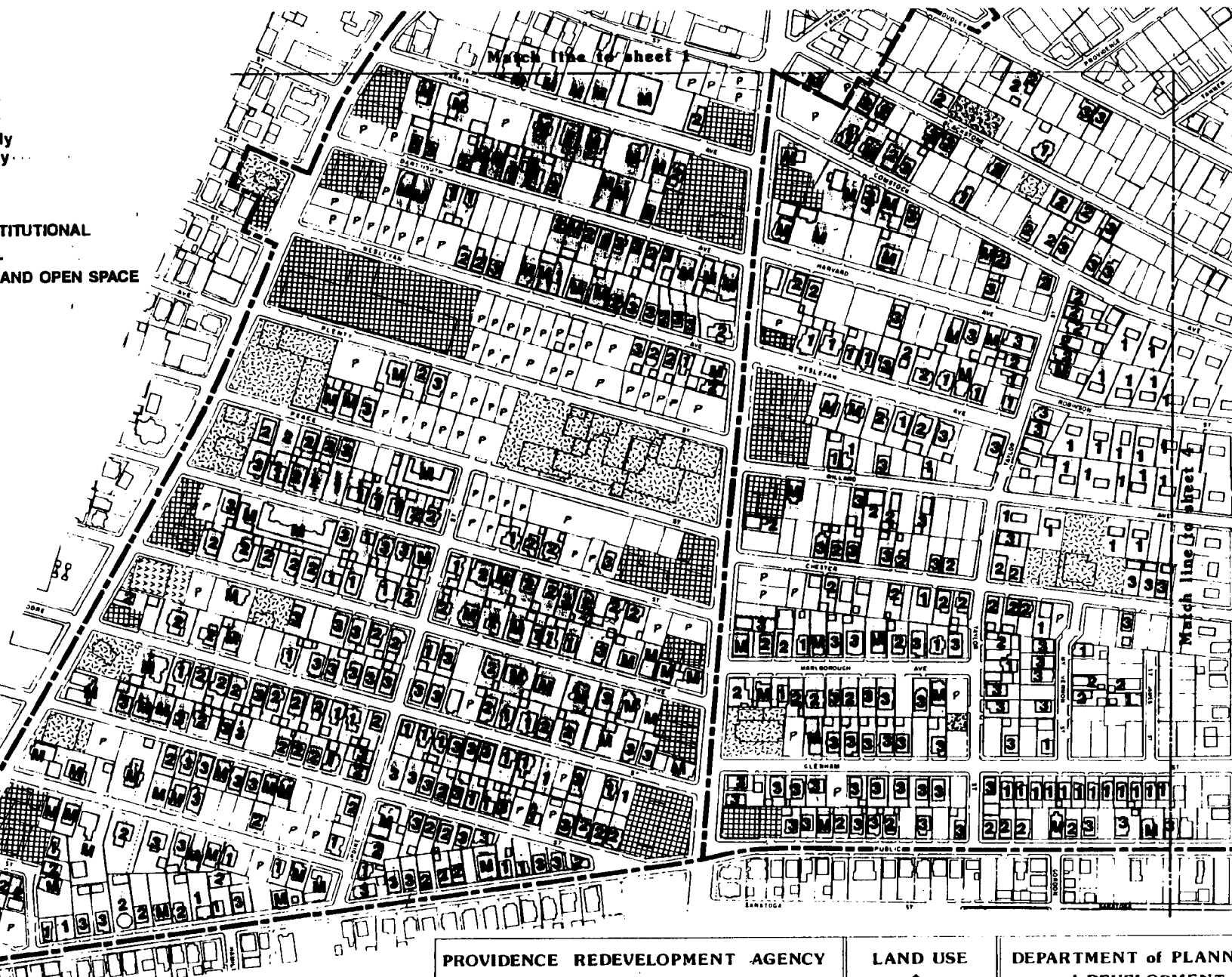
INDUSTRIAL

GENERAL INSTITUTIONAL

EDUCATIONAL

RECREATION AND OPEN SPACE

P PARKING



PROVIDENCE REDEVELOPMENT AGENCY  
Upper South Providence /  
Trinity Gateway Project

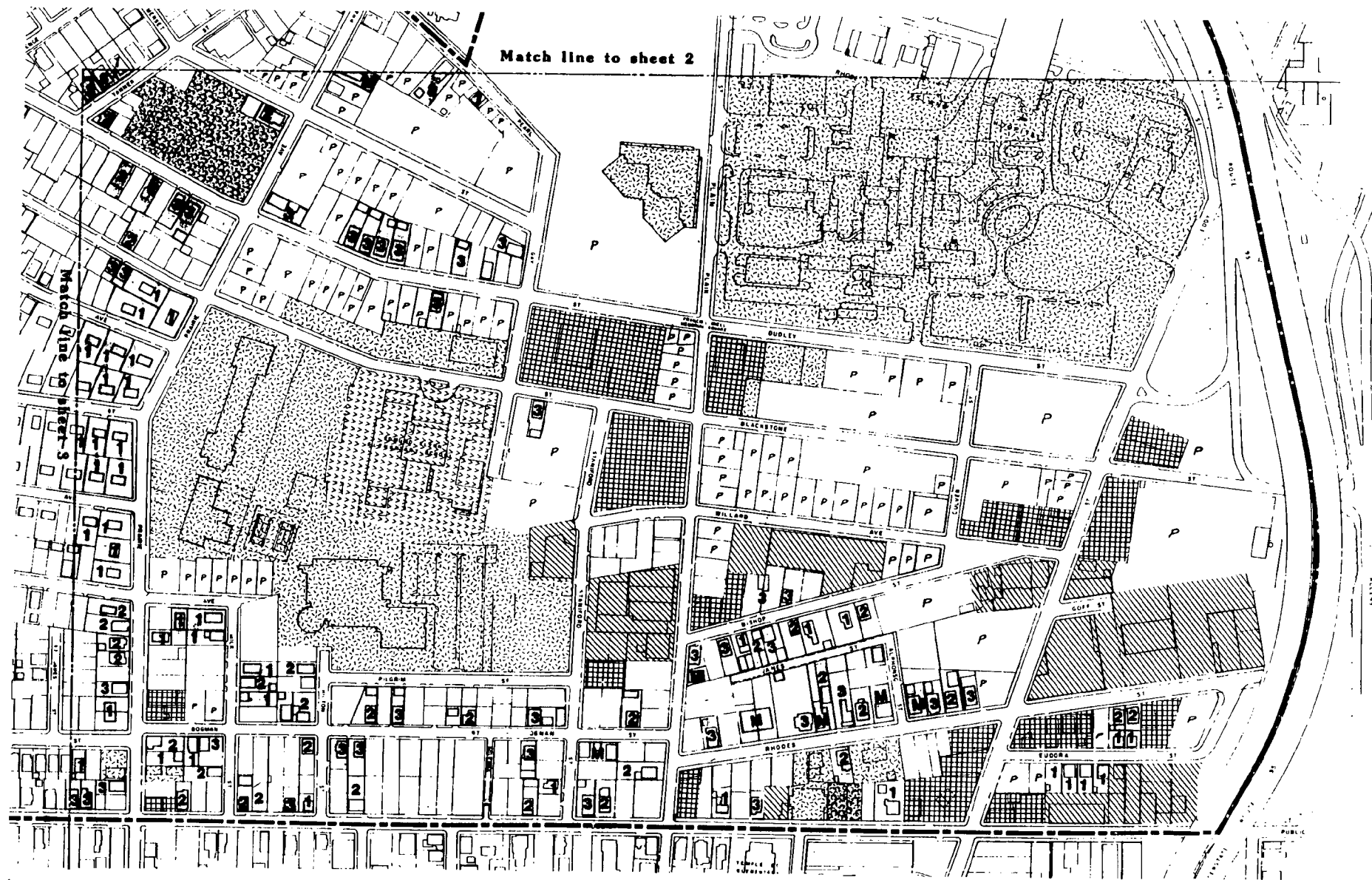
LAND USE



SHEET 3 OF 4

DEPARTMENT of PLANNING  
and DEVELOPMENT

Date: 9/90 Revisions:



**Legend**

**RESIDENTIAL**

- 1 One Family
- 2 Two Family
- 3 Three Family
- M Multi-Family

- COMMERCIAL
- INDUSTRIAL
- GENERAL INSTITUTIONAL
- EDUCATIONAL
- RECREATION AND OPEN SPACE
- P PARKING

PROVIDENCE REDEVELOPMENT AGENCY

Upper South Providence /  
Trinity Gateway Project

LAND USE



SHEET 4 OF 4

DEPARTMENT of PLANNING  
and DEVELOPMENT

Date: 9/90 Revisions:

DELAPIDATED : Structure appears to be beyond repair;  
closer inspection advised.

The following delineates the number of structures generally  
rated in each category

	Residential	Commercial	Mixed Use
EXCELLENT	14 %	6 %	-0-
GOOD	44 %	63 %	33 %
DETERIORATED	31 %	6 %	17 %
DILAPIDATED	11 %	25 %	50 %

Upper South Providence contains a comparatively small amount of residentially used land. Only 23 percent of all the lots in the area is in residential use, while parking amounts to 22 percent of the total lot area. Commercial lots account for only five percent of all lots, and based upon the survey, very little of that was neighborhood-oriented; most of the commercial uses in the area are oriented toward through-traffic and highway-type commercial activity.

The neighborhood maintains a significant amount of institutional uses and land area. As seen in the figures, more than twenty-five percent (25%) of the total lot area in Upper South Providence is in institutional use. These uses have replaced a great deal of the housing stock in the area - some in dilapidated condition - yet also have served to upgrade a portion of the neighborhood with landscaping and new construction. However, local roads with small capacities must facilitate large flows of traffic to the institutions.

The neighborhood contains a significant amount of vacant land, which tends to attract negative influences into the area, and creates a threat to the health, safety and welfare of the entire neighborhood. In addition, the condition of many of the sidewalks and roads is poor based on the survey, which further diminishes the quality of life in the neighborhood.

## ZONING

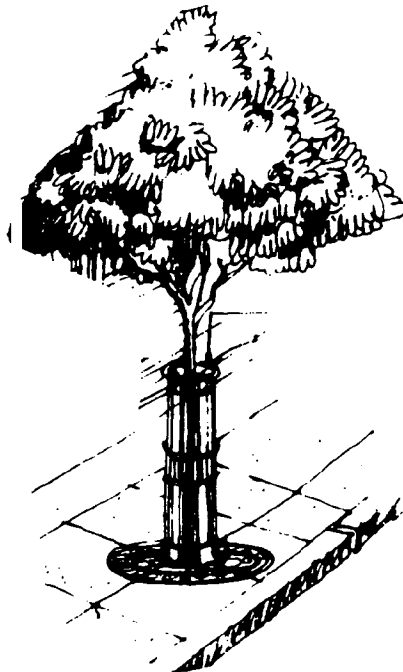
Zoning in this area has been inconsistent and haphazard. Over the years, individual lots have received zone changes, serving to undermine the overall zoning of the neighborhood. Zoning and housing violations have been difficult to enforce and the residential densities are often inconsistent within city blocks.

The city is in the process of creating a revised zoning ordinance and map, to better address current issues and changes citywide. Issues being considered include decreasing housing density where appropriate, encouraging neighborhood commercial uses, protecting residential areas from nearby manufacturing uses, protecting open spaces, and reactivating vacant, underutilized lots. The Upper South Providence neighborhood will experience at least some of these changes.

Please refer to Figure 2. for "Existing Zoning Map" showing delineation of current zoning in the area.

## PUBLIC RIGHTS-OF-WAY

The analysis of public rights-of-way includes roadways, sidewalks and any amenities located along or within a right-of-way. Street and sidewalk conditions are being reviewed to better assess the specific needs in the area.



# UPPER SOUTH PROVIDENCE

## EXISTING ZONING

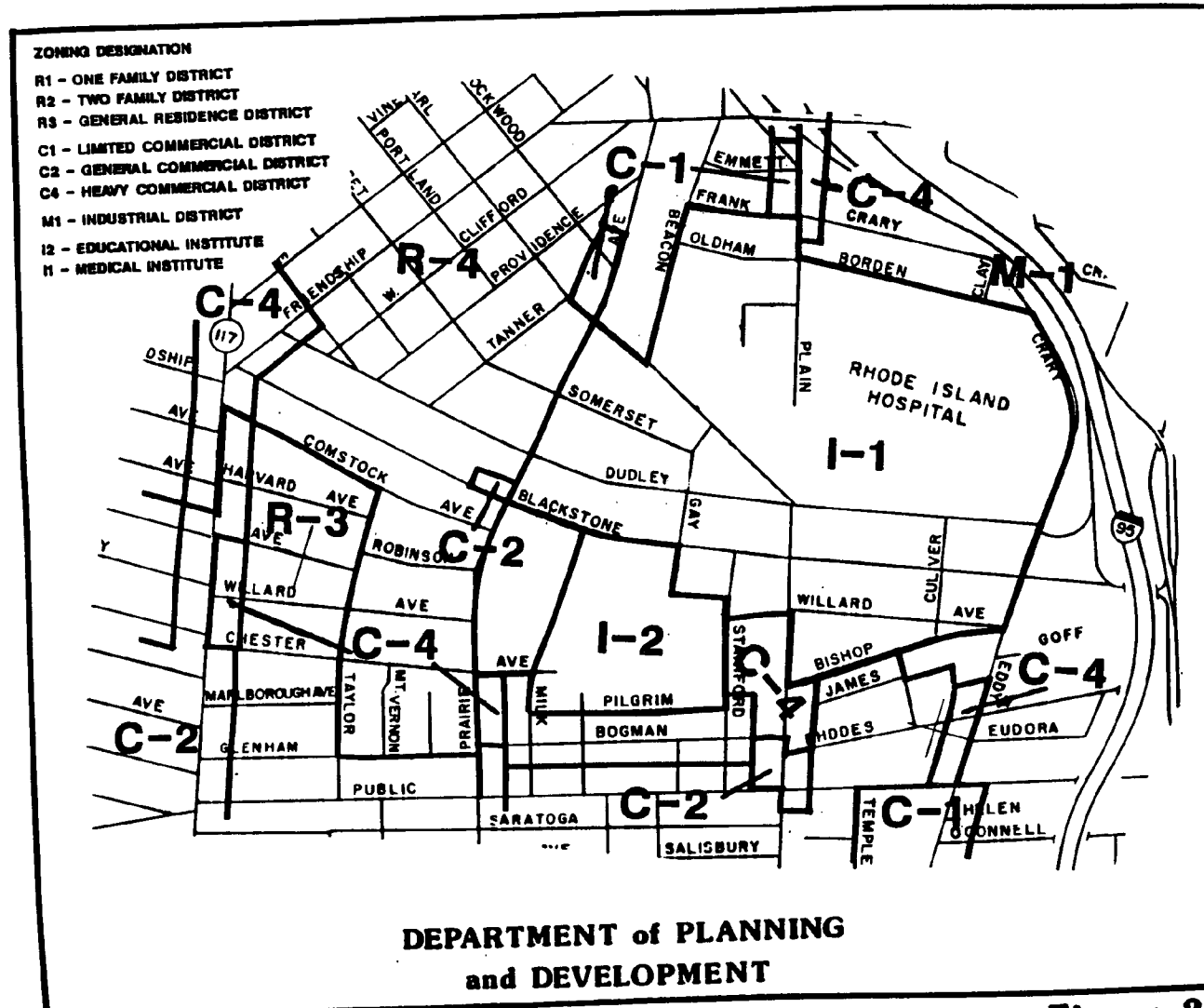


Figure 2.

## TRINITY GATEWAY

The following are the findings of a survey of the neighborhood's physical character.

### LAND USE

CATEGORY	LOT AREA	PERCENT OF TOTAL AREA
RESIDENTIAL		
One Family	303,621	(5%)
Two Family	638,301	(12%)
Three Family	447,034	(22%)
Multi-Family	1,212,604	(14%)
COMMERCIAL	758,919	(14%)
INDUSTRIAL	173,437	(3%)
INSTITUTIONAL		
GENERAL	462,830	(8%)
EDUCATION	309,420	(0.3%)
PARKING	646,197	(12%)
RECREATION/OPEN SPACE	380,044	(7%)
VACANT/UNDERUTILIZED	486,303	(9%)

Please refer to Figure 1. for "Existing Land Use Map".

### BUILDING CONDITION

Based upon a windshield survey in the neighborhood, the conditions of the residential, commercial and mixed use structures were estimated. The following delineates the number of structures generally rated from Excellent to Dilapidated.

	RESIDENTIAL	COMMERCIAL	MIXED USE
EXCELLENT	33 %	52 %	-0-
GOOD	42 %	15 %	77 %
DETERIORATED	20 %	24 %	23 %
DILAPIDATED	5 %	9 %	-0-

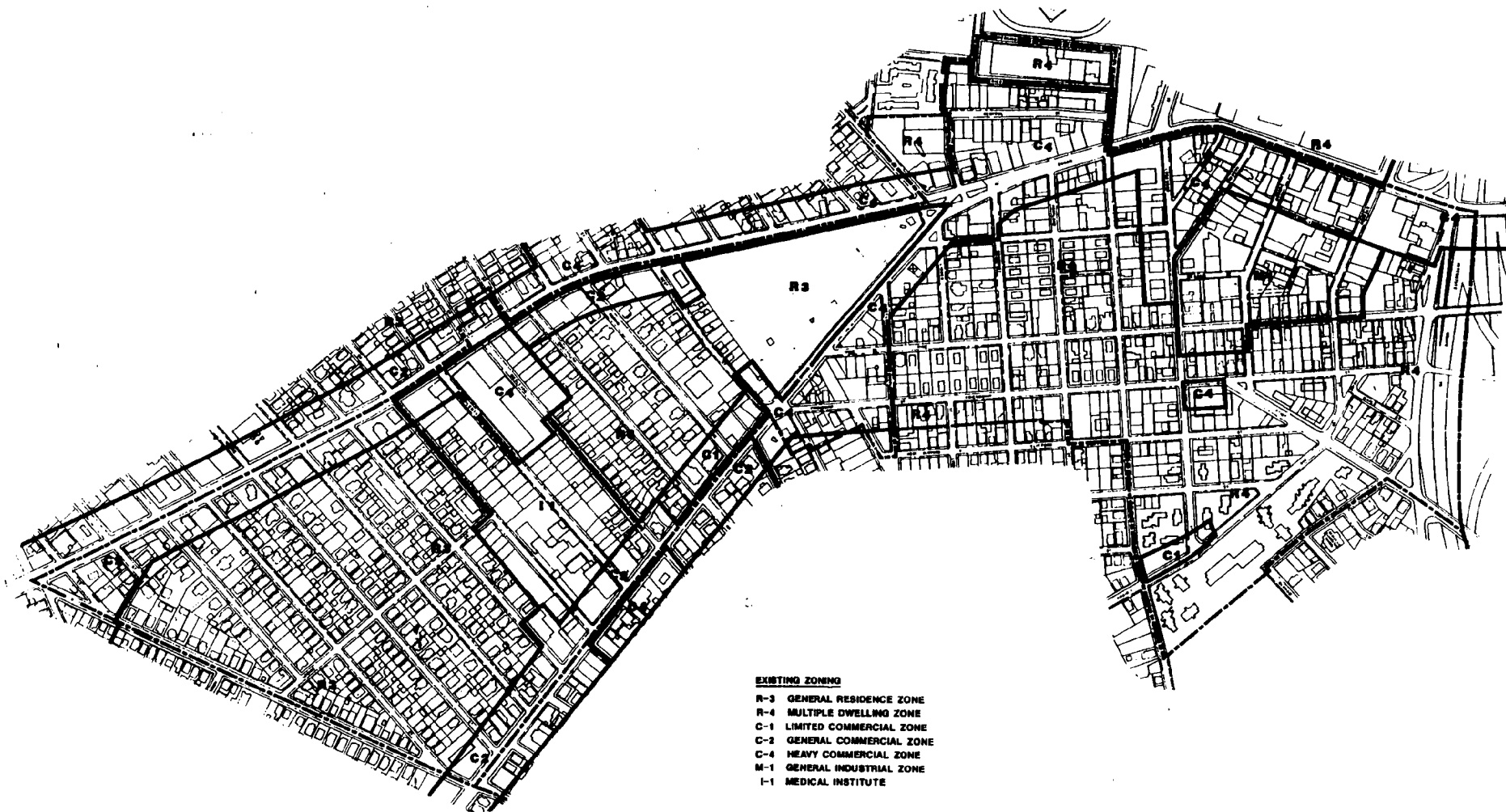
The Trinity Gateway neighborhood has a larger - and more stable - inventory of residentially used lots than the Upper South Providence neighborhood. Nearly fifty percent (50%) of the lot area is in residential use, versus twenty-three percent (23%) in Upper South Providence. The area contains much more commercial, and much less institutional, industrial and parking lot area than Upper South Providence. Vacant land only accounts for nine percent (9%) of the lot area in Trinity Gateway, versus fifteen percent (15%) of the total lot area in the Upper South Providence area.

The building condition data for Trinity Gateway show that a much higher percentage of residential and commercial properties are in excellent condition than in Upper South Providence. Similarly, while eighty-six percent (86%) of the residential, commercial and mixed-use structures in Upper South Providence were in "dilapidated" condition, only fourteen percent (14%) were in the Trinity Gateway neighborhood. This information, combined with the land use distribution data, indicates a greater stability in the Trinity Gateway area than in Upper South Providence. This finding is important in that it serves as the basis for the types of improvements recommended in this Plan for each of the two areas.

### ZONING

Changes in zoning in Trinity Gateway have been less drastic and erratic than in Upper South Providence, although "spot" zones have been created over the years. Some city blocks and streets contain inconsistencies in terms of zoning, and residential areas often are threatened by higher densities and non-residential uses. As with Upper South Providence, Trinity Gateway will likely experience some positive changes in terms of zoning. Decreases in housing densities, in particular, will help to protect the older housing stock.

Please refer to Figure 3. "Existing Zoning Map" for delineation of current zoning in the area.



**Figure 3.**

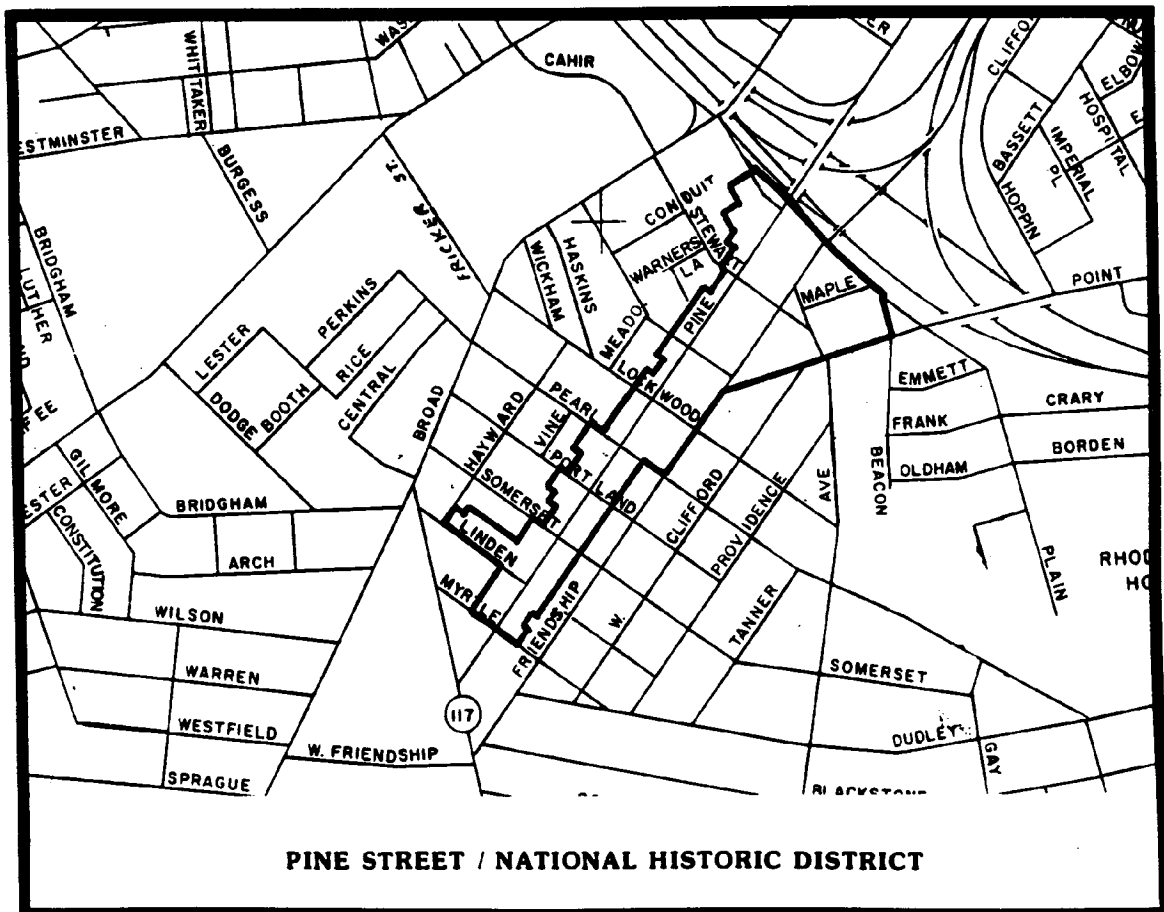
EXISTING ZONING			
TRINITY GATEWAY			
REVITALIZATION PROJECT			
DEPARTMENT OF PLANNING AND DEVELOPMENT			
CITY OF PROVIDENCE			
DATE: JANUARY 1993	SCALE: 1"=100'	FILE NO.	
REVISIONS: (None)		MAP NO.	2
		STATUS	



## PINE STREET HISTORIC DISTRICT

Within the Trinity Gateway Renewal area is a national historic register district, known as the Pine Street District. An area bounded by Point and Friendship Streets, Myrtle Street, Seekell Street and Hayward Street, the Pine Street District includes 75 residential structures, 3 commercial buildings, 2 industrial structures, and 37 vacant lots. The zoning of the historic district is a mixture of high density residential and manufacturing.

Of the 79 structures in the district, twenty-eight percent (28%) were rated as "deteriorated," with eleven percent (11%) rated "dilapidated." More than sixty-one percent (61%) of the structures were in good to excellent condition - roughly the same percentages as witnessed for the entire study area. A number of the structures that existed when the district was placed on the national register no longer exist, and the existing zoning in the area could threaten those that are remaining.



## THE PLAN

The results of the data collection phase revealed a general profile of both areas: Upper South Providence and the Trinity Gateway area. Existing conditions were assessed on a neighborhood level for the purpose of identifying specific issues and problem areas, to be addressed in the Plan's recommendations. However, it was found that problems often transcend project boundaries, and that more regional solutions for the entire area must be developed. Specifically, transportation and circulation problems exist which necessitate both specific site solutions and general area assessment. In addition, while one area has a higher rate of vacant lots and dilapidated buildings than the other, both areas contain housing in need of renovation, to avoid further decay of the area's housing stock.

Through the analysis phase, a set of goals for revitalizing the study area was established:

- o Eliminate vacant and underutilized lots wherever possible, to curb and reverse blighted conditions;
- o Stabilize the area and protect or re-establish the community network;
- o Strengthen the economic potential of the area, and provide neighborhood-oriented commercial activity; and
- o Provide additional housing possibilities in the area, and protect existing residential areas from decay and from encroachment of non-residential uses.
- o Require owner occupied housing.

These goals apply to the entire study area, as delineated in the Project Boundary Map. Yet specific recommendations for each neighborhood, based upon these general goals, are provided later in this Plan.

This Plan attempts to address the issues and problems identified, and to offer specific, workable solutions through such implementation techniques as zoning changes; property acquisition, disposition and rehabilitation; administrative action and economic revitalization. The actions prescribed herein are in keeping with the city's Comprehensive Plan 2000, and seek to implement the goals and objectives of that Plan.

## **UPPER SOUTH PROVIDENCE REDEVELOPMENT AREA**

### **HOUSING**

The Upper South Providence neighborhood contains a high number of vacant lots, often clustered together. In addition, many of the structures abutting these vacant lots are in dilapidated condition. Acquisition of these clusters of vacant lots and the structures presents the Agency with the opportunity of redeveloping larger tracts of land to provide well-planned affordable housing in the area.

Within the Upper South Providence project area, for example, there are five (5) two and three family homes which have been designated as delapidated or deteriorated structures. These homes are located in the area adjacent to the successful Comstock Development of one family homes. Here, the Agency can accomplish more than one goal. It may save existing housing by relocating those structures feasible for rehabilitation to an area in which two and three family homes are more compatible and expand the one family development to Dudley Street.

Throughout the entire Upper South Providence Project affordable, safe and compatible housing will be developed. Two and three family homes will be constructed on the remaining parcels. Where feasible, surplus land will be offered to adjacent property owners for yard expansion to reduce congestion. For each home there will be parking, open space and a requirement of owner occupancy to stabilize the neighborhood. For ownership and resale restrictions please refer to Appendix III.

### **PARCEL DELINEATION:**

The following parcels have been identified for acquisition and redevelopment with the exception of Parcels 2 and 3. These latter two had been acquired through the original application and are included here for disposition. Parcel 1 of the original application is no longer being considered for acquisition. The remaining parcels delineated below comprise Amendment #1 to the Upper South Providence Redevelopment Plan, 1984.

Please refer to Figure 4. for "Disposition Map" which illustrates parcel delineation.

PARCELS 2 & 3:

Plat: 23  
5,926 and 4,944 square feet, respectively  
Zoning: R-3  
All vacant land

These two parcels were acquired by the Agency and shall be dedicated for public purposes.

Lots 720, 721, 722 and 595 will comprise an expansion to the Dudley Street Recreation Center and will provide facilities for active recreation and landscaped open space.

PARCEL 4:

Plat 23  
129,965 square feet  
Zoning: R-1

Parcel 4 has five (5) structures among 26 lots of vacant land. If feasible, structures will be offered to non-profit organizations for relocation to Parcel 5 of this project and rehabilitated. Please refer to PARCEL 5. If relocation is not feasible, structures will be demolished.

All lots within this parcel will be combined and divided into twenty-one (21) new lots each of 6,000 square feet for the construction of single family housing. Extra square footage shall be offered to adjacent property owners for yard expansion. Housing is to be developed in accordance with design standards of this plan and must conform to the existing single family homes that were developed as part of the Comstock Project.



PARCEL 5:

Plat 23  
75,723 square feet  
Zoning: R-3  
All vacant land

Subparcel 5A: 38,369 square feet

Combine Lots 401 thru 395, 443 and 260 sq. ft. from the lower south eastern-corner of Lot 552. ft.

Divide into six (6) parcels each of 6,400 sq. ft.

- Option I: Construct six (6) duplexes.
- Option II: Relocate one 3-family structure from Lot 376, and two 2-family structures from Lots 378 & 380 Construct three duplexes on the remaining three lots.

Subparcel 5B: 6,425 square feet

Combine Lots 551 & 552 for one buildable parcel of 6,425 sq. ft. Construct one duplex.

Subparcel 5C: 6,878 square feet

Combine Lots 458, 559 and a 20' strip from Lot 558 Construct one duplex.

Subparcel 5D: 6,434 square feet

Combine Lot 556 and the remainder of Lot 558 (2101 sq. ft.). Construct one duplex.

Subparcel 5E: 9,165 square feet

Combine Lots 319 & 392

- Option I: Move three family from Lot 375 and rehabilitate.
- Option II: Construct one duplex.

PARCEL 6:

Plat 23  
38,486 square feet  
Zoning: R-1

This Plan recommends extending the successful Comstock Housing Development along Prairie Avenue to Blackstone Street and identifying a developer to construct additional single family houses all with adequate parking on the following subparcels within Parcel 6. Housing is to be developed in accordance with the design standards of this Plan.

Subparcel 6A: 17,984 square feet

Offer the 2 three family homes on Lots 628 and 791 to non-profit organizations for relocation and rehabilitation. If infeasible, demolish.  
Combine Lots 623, 624, 626, 627, 628 & 791.  
Divide parcel into three buildable lots each of 6,000 sq. ft. Construct three single family homes.

Subparcel 6B: 20,502 square feet

Combine Lots 528 thru 533  
Divide acreage into three buildable lots each of 6,834 sq. ft. Construct four single family homes.

PARCEL 7:

Plat 45  
16,180 Square feet  
Zoning: R-3  
All vacant land

Subparcel 7A: 2,460 square feet

Lot 616: Offer one half each of 1230 sq. ft. to adjoining owners of Lots 615 and 617.

Subparcel 7B: 13,720 square feet

Combine Lots 543, 542, & 541 for a total

Option I: Divide into two parcels of each of 6,860 sq. ft.; construct two duplexes.

Option II: Offer ten (10) foot strip of Lot 543 to the owner of Lot 544 for a sideyard. Provide two lots each of 6,360 sq. ft.; construct two duplexes.

PARCEL 8:

Plat 45  
16,314 sq. ft.  
Zoning: R-3  
All vacant land

Subparcel 8A: 5,534 square feet

Combine Lots 613 & 614 (acquired through the Special Vacant Lot Program - SVLP). Construct one duplex.

Subparcel 8B: 10,780 square feet

Combine Lots 547 & 545  
Offer a 20' strip (1960 sq. ft.) to the owner of adjoining Lot 544.  
Offer a 15' strip (1470 sq. ft.) to adjoining owner of Lot 548.  
Construct one duplex on the balance (7350 sq. ft.)

PARCEL 9:

Plat 45  
5,534 square feet.  
Zoning: R-3  
All vacant land

Combine Lots 609 (acquired through the SVLP) & 610: to provide buildable lot construction of one duplex.

PARCEL 10:

Plat 45  
6,553 square feet  
Zoning: R-3  
All vacant land

Subparcel 10A: 2,541 square feet

Offer entire Lot 218 to owner of adjacent Lot 321 for sideyard

Subparcel 10B: 4,012 square feet

Combine Lots 32 (acquired through the SVLP) & 33 to provide 4012 sq. ft. for construction of one single family home.

PARCEL 11:

Plat 45  
25,821 square feet  
Zoning: R-3  
All vacant land

Subparcel 11A: 2,939 square feet

Offer entire Lot 571 to owner of adjacent Lot 570 for side yard.

Subparcel 11B: 9,287 square feet

Combine Lots 757 & 107 (minus a 40' strip) to provide 6,287 sq. ft. for construction of one duplex.

Offer 3,000 sq. ft. (40' strip of Lot 107) to owner of adjacent property of Lot 55 for a sideyard.

Subparcel 11C: 7,584 square feet

Combine Lots 25 & 26 (minus a 20' strip) for a total of 5,984 sq. ft. for construction of one duplex.

Offer 1,600 sq. ft. (20' strip) to adjacent owner of Lot 27 for use as a sideyard.

Subparcel 11D: 6,011 square feet

Combine Lots 28 & 29. Construct one duplex.

PARCEL 12:

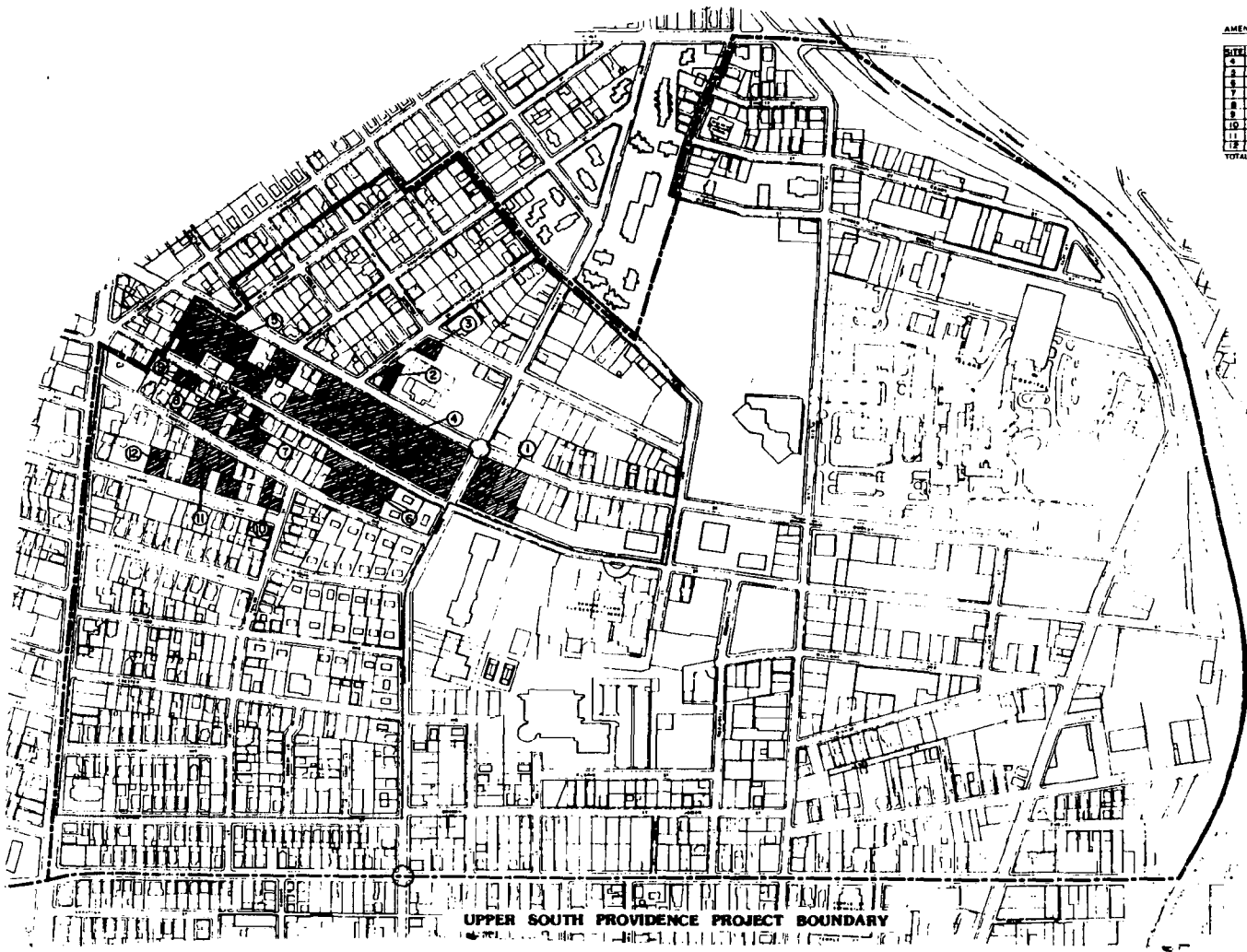
Plat 45  
7,177 square feet  
Zoning R-3  
Vacant land


Lot 22: Construct one three family home.

Note: Offering strips of land to adjacent owners is recommended not required.

In addition to redeveloping vacant lots in the area, this Plan recognizes the need to renovate and refurbish the existing housing stock, before the structures deteriorate any further.





- PROJECT BOUNDARY
-  DISPOSITION PARCELS
- PRIMARY TARGET AREA FOR HOUSING REHABILITATION
- INTERSECTIONS FOR POTENTIAL SITE IMPROVEMENTS


ORIGINAL APPLICATION

SITE AREA	USE	DISPOSITION METHOD
1	DELETED	
2	1,000 S.F.	DELEGATION
3	4,844	
TOTAL 10,870		

AMENDATORY APPLICATION NO. 1

SITE AREA	USE	DISPOSITION METHOD
4	120,853 S.F.	SALE
5	75,733	
6	38,095	
7	18,180	
8	14,351	
9	5,334	
10	8,553	
11	75,821	
12	2,779	
TOTAL 321,753		

**Figure 4.**

DISPOSITION			
UPPER SOUTH PROVIDENCE REDEVELOPMENT PROJECT			
DEPARTMENT OF PLANNING AND DEVELOPMENT CITY OF PROVIDENCE			
DATE: JANUARY, 1984	SCALE: 1"=100'	FILE NO.	STATUS
REVISIONS: E-01 TO E-03		MAP NO.	
		4	

### COMMERCIAL REVITALIZATION

The majority of the active commercial uses in both Upper South Providence and Trinity Gateway are more oriented for through-traffic than for the neighborhood residents and businesses. Therefore, as the influx of new people to the area continues, the need for area-oriented commercial business increases. At the intersection of Broad and Public Street a small C-1 commercial district is proposed, to encourage neighborhood-oriented uses, to service area residents.

In addition to attracting new commercial establishments to the area, commercial storefront improvement loan funds are available through the Department of Planning and Development for existing commercial establishments in need of renovation. These funds will be advertised and distributed to interested business people in the area, to enhance the economic vitality of Upper South Providence.

To further enhance existing and potential commerce in the area, aesthetic improvements are proposed throughout the entire study area. Gateway signs should be placed in key locations and intersections (to be described later in this section) which direct hospital and Community College traffic away from smaller residential streets, and which identify commercial areas and the National Register Historic District. In addition, street trees and furniture would enhance and beautify the approaches, gateways and the entire area, and would encourage local residents and area employees to frequent businesses in the neighborhood. A cooperative effort between the City and property owners to share the responsibility for the planting and care of street trees is a well established policy in Providence. Participation in the Street Tree Program can be of significant value in the revitalization of this neighborhood.

### TRANSPORTATION AND CIRCULATION

Roadway improvements recommended in this Plan include intersections which lie outside the Upper South Providence neighborhood boundary, in the Trinity Gateway project area. However, these improvements would positively effect the entire study area, including Upper South Providence, and therefore, should be mentioned here.

From the north, Stewart Street could serve as a major approach for both Rhode Island Hospital and the Community College of Rhode Island, as well as to the entire neighborhood. It intersects with Broad Street and serves as an important link

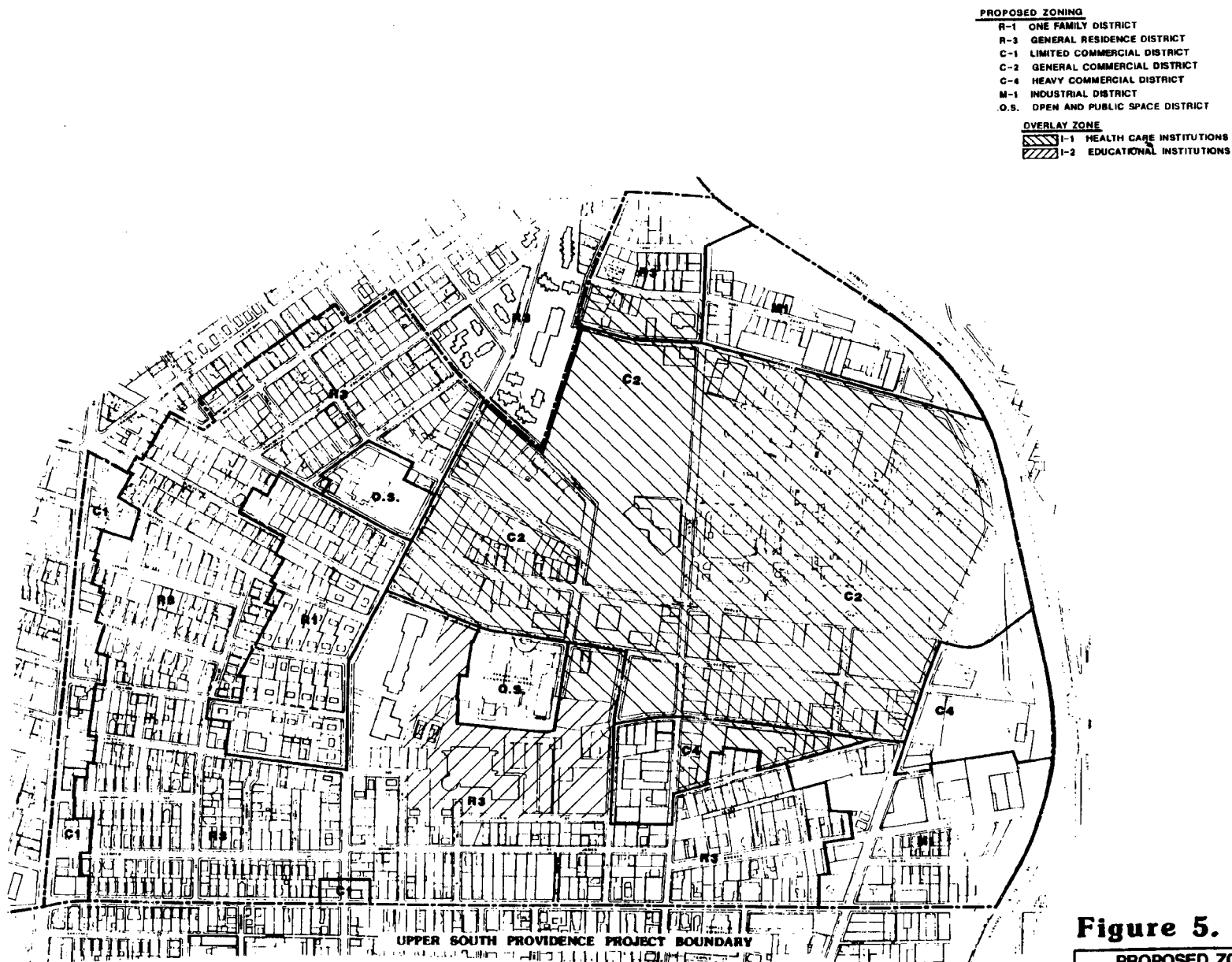
between Dean Street and Point Street - two major thoroughways in the city. Therefore, this Plan recommends redesign of the Stewart and Broad Street intersection, to redirect traffic from local neighborhood streets to a more major thoroughfare, and widening of Stewart Street from Broad to Point Streets.

The study area would benefit with another major approach to the area from the west. Based upon existing roadway configurations, the intersection of Friendship, Blackstone, Dudley and Broad Streets is well suited for this type of an approach. Blackstone and Dudley Streets are existing thoroughways that travel between Friendship and Eddy Streets. Broad Street currently serves as a major thoroughfare for north/south traffic. The realignment of this intersection, combined with changing Blackstone and Dudley Streets to one-way streets, would facilitate traffic movements, while creating another major gateway to the neighborhood and institutions.

#### ZONING

As stated previously, the zoning configuration in Upper South Providence is inconsistent and does not always fulfill the original intention of the zoning scheme for the area. Therefore, the following are recommendations for revisions in the area's zoning configuration:

- o Eliminate the R-4 - High Density Residential - zones in the neighborhood, to insure that future development is less dense.
- o Decrease the size of the I-2 - Institutional, Education - zoning district to eliminate the Flynn Elementary School from the zone;
- o Eliminate all "spot" zones in the area;
- o Re-zone Broad Street to C-1 and C-2 districts;
- o Create a consistent C-2 zone along a portion of Eddy Street;
- o Re-zone the Rhode Island Hospital area to C-2, to encourage other appropriate uses within the zone;
- o Decrease the amount of C-4 - Heavy Commercial - zones within the neighborhood areas;
- o Create an Open Space Zone, to protect existing public spaces, to include schools, parks and cemeteries;



**Figure 5.**

PROPOSED ZONING			
UPPER SOUTH PROVIDENCE REDEVELOPMENT PROJECT			
DEPARTMENT OF PLANNING AND DEVELOPMENT			
CITY OF PROVIDENCE			
DATE: JANUARY 1989	SCALE: 1"=50'	FILE NO.	
REVISIONS: Sept. 1991		MAP NO.	2
		STATUS	

o Contain the manufacturing zones to areas abutting the interstate highway, to protect the residential areas and,

o Create an R-1 zone along Prairie Avenue from Dudley Street to Chester Street to protect existing and proposed single family development.

Please refer to Figure 5. for the "Proposed Zoning Map".

#### **RECREATION and OPEN SPACE**

As stated earlier in this plan, as new residents move to the neighborhood, the need for services and facilities intensifies. This includes recreational areas and facilities, both active and passive. The Parks Department has identified specific areas and lots to be acquired and developed as recreation areas, and has refurbished some of the existing facilities in the area. The Taylor Street Playground was refurbished in 1989 with Open Space Bond monies, as was the Dudley Street Playground (behind the Recreation Center). Two areas identified by the Parks Department for acquisition and recreational development are:

Plat 46, Lot 267: The Alphonso Street Playground, to include tot lot facilities such as swings, benches and landscaped open space areas. Total area: 5,000 square feet.

Plat 23, Lots 168, 236-237: The Pearl Street Playground, to include active and passive recreation facilities, such as basketball courts, picnic tables, tot lot facilities, and landscaped open space areas. Total area: 13,975 square feet.

As mentioned earlier, Parcel 2 and 3 will be developed for recreation use in an expansion of the Dudley Street Recreation Center. site improvements shall include one-half basketball court and landscaped open space with trees and benches. Please refer to Figure 6. for the Site Design Plan.

These proposed recreation facilities will serve the neighborhood residents and provide additional areas for passive and active recreation, much needed in Upper South Providence.

In addition to these two areas, this plan recommends requiring screening along the perimeter of Rhode Island Hospital's parking areas, which could be consolidated in to a linear park for the area.

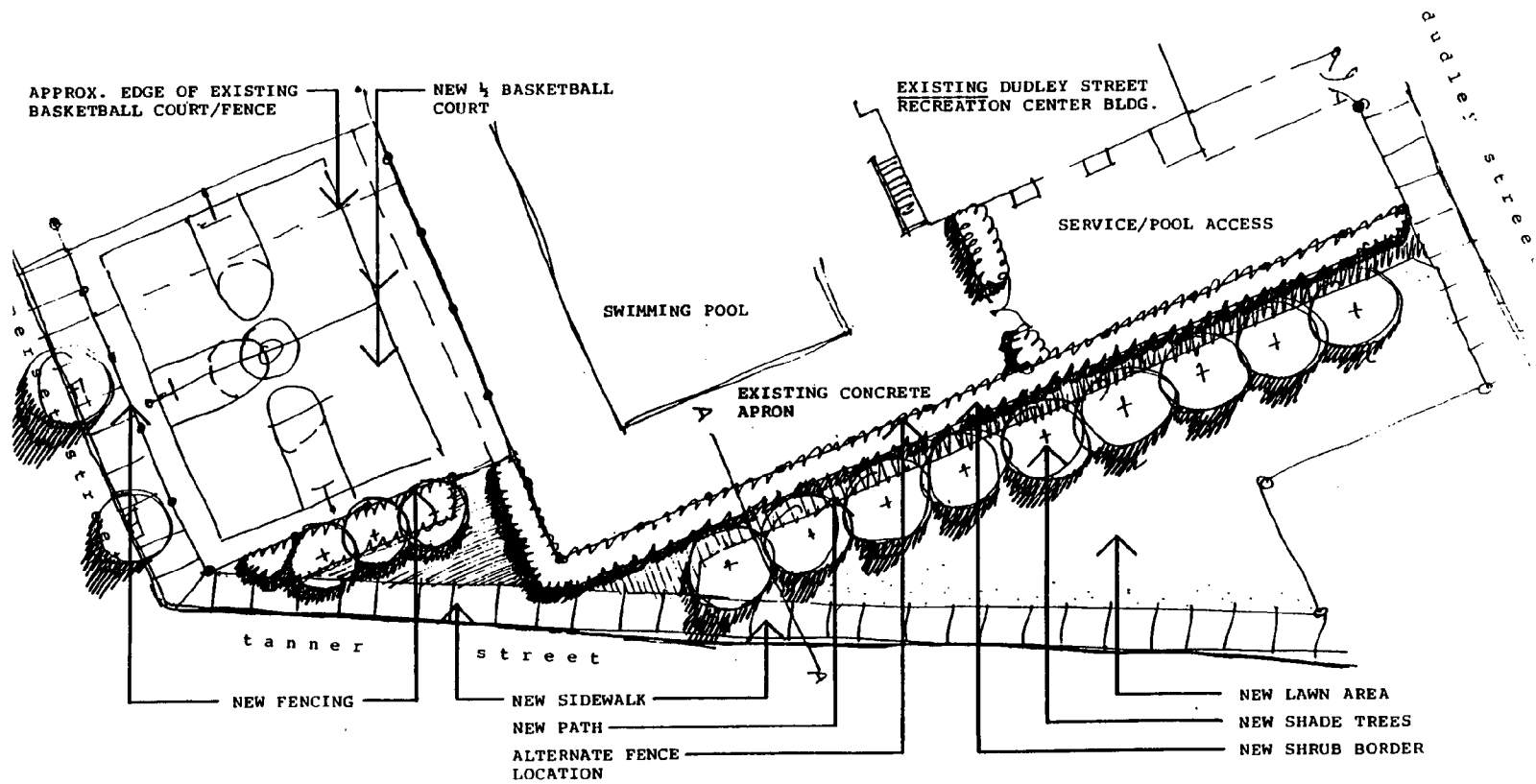
### INFRASTRUCTURE IMPROVEMENTS

The Upper South Providence neighborhood suffers from a number of elements which contribute to urban blight. The recommended strategies listed above address the causes. Yet the area is in need of aesthetic improvements and beautification.

Cracked sidewalks require repair and replacement; streets with potholes need repaving; blighted neighborhood streets need trees and street furniture, including benches and bus shelters. And finally, street lights are in need of repair or replacement throughout the Upper South Providence neighborhood.

In addition to those public improvements described above, the regulations of the Institutional Zone requiring screening of all parking areas must be enforced. Rhode Island Hospital's parking areas are basically along the perimeter of its property, and abut residences. These areas must be screened, to protect residences from the glare of lights, from odors, and from noise. In light of the significant amount of screening necessary in the area, the Hospital and city should cooperate in an effort to create a linear green space along the Hospital's perimeter, to serve as a buffer between the institution and residences, as well as to provide some passive open space in the area. These improvements would help in the overall goal of eliminating blight and encouraging residents, businesses, and pedestrian activity to return to the area.





DUDLEY STREET RECREATION CENTER  
LANDSCAPE PLAN -- SCHEME "A" ALTERNATE W/ NO LAWN INSIDE POOL AREA  
 JUNE 1987 -- DEPARTMENT OF PLANNING & DEVELOPMENT -- PROVIDENCE, RI

**Site Design Plan  
 Parcels 2 & 3**

**Figure 6.**

## **TRINITY GATEWAY REDEVELOPMENT AREA**

### **HOUSING**

The Trinity Gateway area maintains a relatively stable supply of housing, in relatively good condition. As cited in the data analysis section of this Plan, the area's housing is only 20 percent "deteriorated," and only five percent "dilapidated." Yet these figures should not be ignored. Trinity Gateway is known for its architecture and historic homes; therefore it is essential that deteriorating buildings be restored and maintained, before the creeping deterioration continues to engulf the area's housing. Therefore, the various loan programs available through city, state and non-profit agencies should be advertised in the area, and strongly encouraged as resources for residents to take advantage of.

The Trinity Gateway area does contain a number of vacant lots. They tend to be more isolated than in Upper South Providence; yet the vacant, underutilized lots in Trinity Gateway present the same negative impacts to an area. Therefore, infill housing is recommended in this area, to reactivate the vacant lots, and encourage property maintenance in the area.

### **PARCEL DELINEATION:**

The following parcels represent the continuation of the previously-identified five (5) parcels of the original plan and its first amendment. Please refer to Figure 7. for "Disposition Map" which illustrates parcel delineation.

#### **PARCEL 6:**

Plat 44  
20,000 square feet  
Zoning: R-3  
All vacant land

In addition to the isolated, individual vacant lots in the Trinity Gateway area, a group of six vacant lots exist on Dartmouth Avenue, between Broad Street and Elmwood Avenue. Their redevelopment would help enhance the area, and increase the values of the existing structures.

Subparcel 6A: Combine Lots 332, 333, 334, 335, and 336 and divide into three (3) buildable lots each of 6,000



square feet for the construction of three duplexes. As stated previously in this plan, owner occupancy will be required for these new homes to stabilize the neighborhood and protect it from deterioration.

Subparcel 6B:

Option I: Divide Lot 314 into two equal parcels and offer to owners of adjacent properties of Lots 313 and 315 for sideyards with the provisions that the adjacent buildings are in good condition and that the owners are able to develop the land in conformance with project guidelines.

Option II: Construct a single family home.

PARCEL 7:

Plat 24, Lot 202 and adjacent street and traffic island  
16,907 square feet

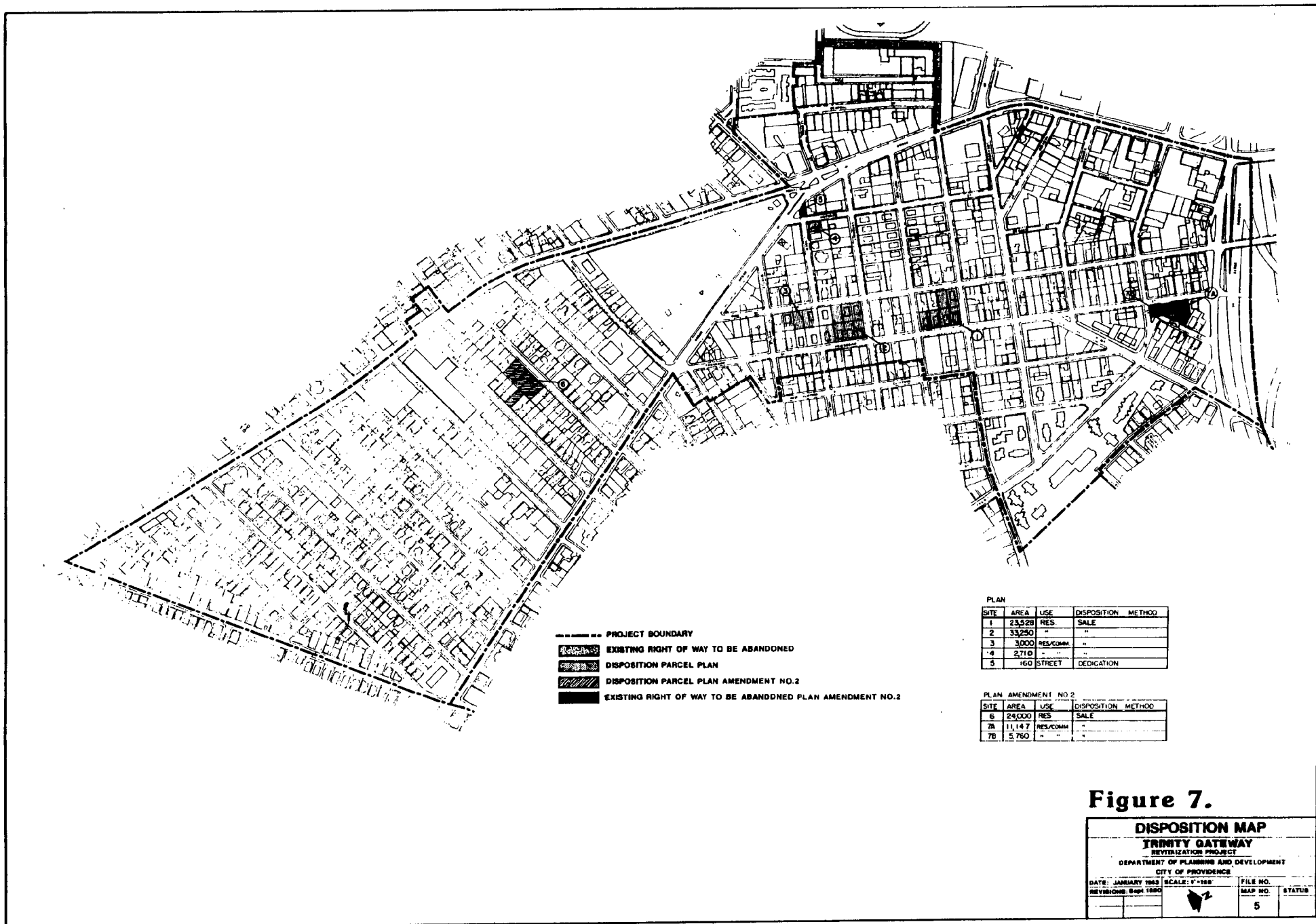
Zoned: R-3

Vacant land

A day care facility may be a possible use for this parcel bounded by Friendship, Prince and Maple Streets. As such, the facility would be developed to serve the neighborhood. Lot 202, currently owned by the Rhode Island Department of Transportation, is surplus land and is available for sale. Directly adjacent to this lot there is a tract of land which consists of 5,760 square feet owned by the City of Providence and developable through street abandonment. Added to the 11,147 square feet of Lot 202 the total acreage is most adequate for use as a day care or another compatible use. The lot is in close proximity to the interstate highway and is in an area in which there are numerous medical offices and health facilities.

TRANSPORTATION AND CIRCULATION

As mentioned earlier in this section, Trinity Gateway contains two intersections recommended for redesign. The Stewart Street/Broad Street intersection should be redesigned and widened to create a formal approach to the area and the institutions farther south. Street trees, signs and signalization would all aid in redirecting traffic off the narrower roads, making the residential neighborhoods safer for residents and children. Further, the creation of a "gateway" would help in the overall revitalization and redevelopment of the area.



The redesign of the Broad/Blackstone/Dudley/Friendship Street intersection is recommended because of its current condition, as well as the positive effects of such an improvement. The intersection currently is dangerous due to the poor alignment of streets and the number of streets leading into and exiting the intersection. A redesign of the intersection would alleviate the problem of the streets not aligning, and would result in a safer area. Furthermore, it is recommended that Blackstone and Dudley Streets become one-way, and the redesign of the intersection would incorporate this into the redevelopment scheme.

### ZONING

As the city prepares its revised zoning ordinance, the current zoning in the Trinity Gateway Renewal Area is likely to change. The goals of the Comprehensive Plan 2000 - upon which changes in zoning are based - include revising the zoning map to make zoning in any given area consistent. In addition, changes in land use and property ownership necessitate revisions to the map.

As stated for Upper South Providence, it is recommended that zoning along Broad Street be revised to C-1 and C-2 districts, and that all spot zones be eliminated. This rezoning will help revitalizing neighborhood commercial uses in the area. In addition, the zoning along Elmwood Avenue is proposed for revision, to eliminate spot zones and to create a consistent C-2 zoning district, except for the C-4 zone which includes the car dealership on Elmwood Avenue.

It is recommended that the I-1 zone over St. Joseph's Hospital be realigned to front on Broad Street, and to be eliminated over areas not owned by the hospital.

The cemetery at Trinity Gateway is proposed for rezoning to the new open space zone, to insure its protection into the future. In addition, it is proposed that the city Parks Department and local neighborhood group coordinate in maintaining the area, and in creating pedestrian and bicycle paths through the cemetery, to provide additional active recreation in the area. Please refer to Figure 8. for "Proposed Zoning Map".

## RECREATION AND OPEN SPACE

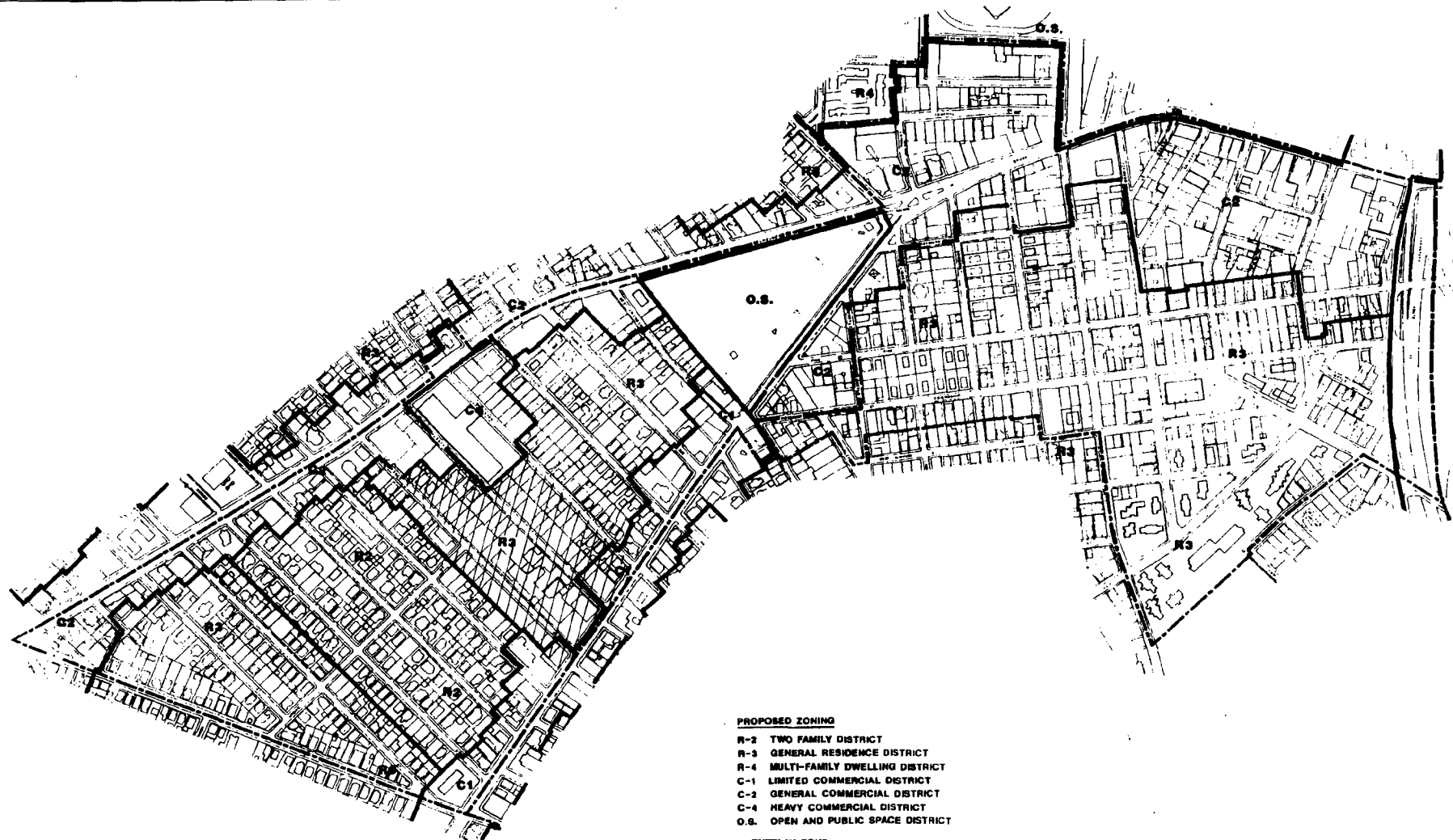
The Trinity Gateway renewal area does not contain a great deal of recreation and open space. Because it is not a formal neighborhood, but part of a number of different city neighborhoods, "Trinity Gateway" is serviced by recreational areas outside its project boundaries. For example, the Dudley Street Recreation Center and Playground facilitate Trinity's residents, although not within the area, itself. However, in light of the increases in population which already have occurred, and which are estimated to occur in the future, recreation and open space land is considered a necessary addition in the Trinity Gateway area. Wherever possible, redevelopment and new development projects should include recreation and/or open space elements, to serve those residents.

In terms of the entire area's residents, it has been recommended in this plan that the Elmwood Foundation and the City of Providence coordinate in developing bicycle and pedestrian paths throughout the historic Trinity Cemetery, for use by area residents. This type of recreational use has proven successful in other parts of the city, and would provide an area which has a small amount of recreation and open space areas to utilize a resource which already exists.

## INFRASTRUCTURE IMPROVEMENTS

Similar to Upper South Providence, the Trinity Gateway area contains a large amount of cracked sidewalks in need of repair and replacement, streets which need repaving, neighborhood streets in need of new urban trees and street furniture, and new street lights to make the area's streets safer for pedestrians and motorists. These issues have been addressed.

Also similar to Upper South Providence, the regulations of the Institutional Zone requiring screening of all parking areas must be enforced. St. Joseph's Hospital's parking area abuts a number of residences. This parking area must be screened, to protect residences from the glare of lights, from odors, and from noise. These improvements would help in the overall goal of eliminating blight and would improve the overall safety and quality of the Trinity Gateway area.



- PROPOSED ZONING**
- R-2 TWO FAMILY DISTRICT
  - R-3 GENERAL RESIDENCE DISTRICT
  - R-4 MULTI-FAMILY DWELLING DISTRICT
  - C-1 LIMITED COMMERCIAL DISTRICT
  - C-2 GENERAL COMMERCIAL DISTRICT
  - C-4 HEAVY COMMERCIAL DISTRICT
  - O.S. OPEN AND PUBLIC SPACE DISTRICT
- OVERLAY ZONE**
- I-1 HEALTH CARE INSTITUTION OVERLAY ZONE

**Figure 8.**

PROPOSED ZONING			
TRINITY GATEWAY			
REVITALIZATION PROJECT			
DEPARTMENT OF PLANNING AND DEVELOPMENT			
CITY OF PROVIDENCE			
DATE: JANUARY 2002	SCALE: 1"=100'	FILE NO.	
REVISIONS: 2004, 2006		MAP NO.	3
		STATUS	

## FUNDING

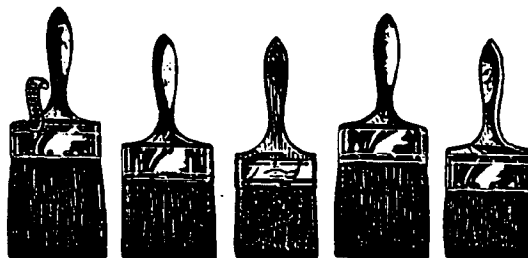
Funding is being provided through available funds from the sale of long term general obligation bonds issued by the City of Providence for redevelopment projects in 1983. Over one million dollars of that funding source is still available for this project. Of the total, approximately one million dollars will be targeted to Upper South Providence with the balance to be spent in the Trinity Gateway area.



## IMPLEMENTATION STRATEGIES

Any plan is only as good as its implementation, and the ability of all parties involved to carry them out successfully. It is envisioned that public commitment will spur private investment of property owners. Action will be taken at various levels of government, as well as by privately-sponsored neighborhood initiatives. The commitment of both sectors will be essential to the success of this undertaking. The objectives of the plan will be realized through the following means:

- o Acquire property and eliminate substandard structures which are infeasible for rehabilitation and prepare land for construction of one, two and three-family homes;
- o Enforce Residential Design Criteria consistent with existing architecture;
- o Provide financing for rehabilitation of residential structures through the City's Low Interest Home Improvement Loan Program;
- o Provide business loans through the City's PEDC Revolving Loan Fund
- o Provide site improvements to public rights of way through a coalition of the Department of Planning and Development, Public Parks, and Public Works;
- o Enforce housing code requirements with coordinated efforts of the City's Building Inspector and the Providence Housing Court; and
- o Assemble an Advisory Committee whose members would represent both the private and public sectors.



## **APPENDICES**

### **I. Ordinance**

- A. Upper South Providence**
- B. Trinity Gateway**

### **II. Proposed Acquisition List**

### **III. Ownership/Resale Restrictions**

### **IV. Cost Estimates**



# City of Providence

STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS

## CHAPTER

No.

**AN ORDINANCE** in amendment of and in addition to Chapter 1984-17 of the Ordinance of the City of Providence approved March 9, 1984 and entitled "An Ordinance Approving and Adopting the Official Redevelopment Plan for the Upper South Providence Revitalization Project" for additional acquisition and development controls.

*Approved*

*Be it ordained by the City of Providence:*

1. That Chapter 1984-17 of the Ordinance of the City of Providence, approved March 9, 1984, and entitled, "An Ordinance Approving and Adopting the Official Redevelopment Plan for the Upper South Providence Revitalization Project" be and the same is hereby further amended as follows:
  - A. Lots 39, 40, 164, 575 and 576 on Assessor's Plat 45 designated for acquisition in Section 2 entitled "Proposed Acquisition" under Chapter E entitled "Plan Proposals" is contained and set forth on Page 20 of the certain booklet entitled "Upper South Providence Official Redevelopment Project" which is a part of the aforementioned Ordinance, be and the same are hereby deleted.
  - B. Add the following properties to the acquisition list in Section E.2 entitled "Proposed Acquisition" as contained and set forth on Page 20 of the certain booklet entitled, "Upper South Providence Official Redevelopment Project" which is part of the aforementioned Ordinance.

### LIST OF ACQUISITION

<u>PLAT</u>	<u>LOT</u>	<u>LOCATION</u>
23	374	277 Dudley Street
23	375	232 Dudley Street
23	376	236 Dudley Street
23	377	242 Dudley Street
23	378	246 Dudley Street
23	379	252 Dudley Street
23	380	254 Dudley Street
23	381	260 Dudley Street
23	382	264 Dudley Street
23	383	268 Dudley Street
23	384	272 Dudley Street
23	385	276 Dudley Street
23	386	280 Dudley Street
23	387	282 Dudley Street
23	561	351 Blackstone Street
23	562	347 Blackstone Street
23	563	343 Blackstone Street

<u>PLAT</u>	<u>LOT</u>	<u>LOCATION</u>
23	564	339 Blackstone Street
23	565	335 Blackstone Street
23	566	331 Blackstone Street
23	567	327 Blackstone Street
23	568	323 Blackstone Street
23	569	321 Blackstone Street
23	570	315 Blackstone Street
23	571	311 Blackstone Street
23	572	307 Blackstone Street
23	573	303 Blackstone Street
23	391	298 Dudley Street
23	392	302 Dudley Street
23	395	316 Dudley Street
23	396	318 Dudley Street
23	397	324 Dudley Street
23	398	326 Dudley Street
23	400	332 Dudley Street
23	401	336 Dudley Street
23	551	393 Blackstone Street
23	552	389 Blackstone Street
23	556	371 Blackstone Street
23	443	375R Blackstone Street
23	558	367 Blackstone Street
23	458	365 Blackstone Street
23	559	363 Blackstone Street
23	574	299 Blackstone Street
23	575	181 Prairie Avenue
23	405	254R Dudley Street
23	363	171 Prairie Avenue
23	368	175 Prairie Avenue
45	623	328 Blackstone Street
45	624	320 Blackstone Street
45	626	316 Blackstone Street
45	627	314 Blackstone Street
45	628	312 Blackstone Street
45	791	310 Blackstone Street
45	528	21 Comstock Avenue
45	529	25 Comstock Avenue
45	530	31 Comstock Avenue
45	531	35 Comstock Avenue
45	532	39 Comstock Avenue
45	533	41 Comstock Avenue
45	616	360 Blackstone Street
45	613	372 Blackstone Street
45	610	384 Blackstone Street
45	545	93 Comstock Avenue
45	543	83 Comstock Avenue
45	542	77 Comstock Avenue
45	571	94 Comstock Avenue
45	757	86 Comstock Avenue
45	107	84 Comstock Avenue
45	218	64 Comstock Avenue
45	33	3 Harvard Avenue
45	28	21 Harvard Avenue
45	29	19 Harvard Avenue
45	22	47 Harvard Avenue
45	25	35 Harvard Avenue
45	26	31 Harvard Avenue

- C. Add the following sections under Section F.1 entitled "Land Disposition" as contained in and set forth on Page 22 of the certain booklet entitled "Upper South Providence Redevelopment Project" prior to the section entitled "C-2 Commercial Zone".

R-3 General Residential Zone(1) Permitted Uses

(a) R-3 General Residential uses of the City of Providence Zoning Ordinance shall be permitted within the Area except for: Apartment Hotel or Hotel, Fraternity or Sorority House, Rooming House, or Lodging House or Tourist Home.

(2) Development Controls for Permitted R-3 Uses

(a) Maximum Density, Minimum Lot Size, Lot Coverage, Building Setbacks, and Building Heights

Shall be governed by applicable provisions of the Zoning Ordinance as amended to date.

(b) Building Construction - The construction of buildings shall conform to the regulations set forth in the Building Ordinance of the City of Providence, as amended to date.

(c) Dwelling Accommodations - All living units shall be full family dwelling accommodations, having separate and private access, complete bathroom and kitchen, and shall be otherwise in full conformity with the requirements of Chapter 1040, Ordinance of the City of Providence, entitled "The Ordinance Providing Minimum Standards for Housing", as approved July 19, 1956 and as amended to date.

(d) Name Plate or Sign - For each dwelling unit, one name plate not exceeding 1/2 square foot in area, shall be permitted, indicating the name and/or address if the occupant or any permitted occupation, and shall be suitably integrated with the architectural design of the structure which it identifies. The size, design, placement and number of signs must be specified in all redevelopment proposals. The replacement or addition of any sign during the duration of the plan must be approved by the Agency. The Agency in its sole and absolute discretion shall have the final right of approval.

(e) Off-Street Parking - Two off-street parking spaces for each dwelling unit shall be provided. The Agency in its sole and absolute discretion shall have the final right of approval.

(f) Paving for Accessory Parking - Paving on residential lots shall be limited to the following:

(1) The front yard may only be used for a driveway to access a garage or parking area located on the side or rear yard. Parking is not permitted in the front yard;

(2) Only one side of the yard shall be paved for parking;

(3) Only forty percent (40%) of the rear yard area shall be

permitted to be paved for parking.

The Agency, in its sole and absolute discretion, shall have the final right of approval.

(g) Overnight Off-Street Parking - In residential zones, overnight off-street outside parking shall be specifically prohibited for pleasure vehicles, including: campers, recreational vehicles, boats and the like. Pleasure vehicles shall be parked overnight in a garage or in the rear yard.

(h) Landscaping, On-Site Improvements and Maintenance - All unbuilt areas of the site shall be provided, where needed, with suitable, properly designed and constructed walks and access drives. All unbuilt and unpaved areas of the site shall be suitably planted and permanently maintained with grass, shrubs, and trees; except where the Agency approves, an area not in excess of 20% of the unbuilt and unpaved area may be landscaped with another material for decorative purposes, or a garden only. Outdoor parking areas shall be effectively landscaped with trees and shrubs to reduce the visual impact of glare, headlights and parking lot lights from the public right-of-way and from adjoining properties and to enhance the aesthetic quality of the area.

After fully developed, the land, building and other improvements within the area shall be maintained in good repair and in clean and sanitary condition. Sufficient and suitable refuse and garbage storage and disposal facilities including structural enclosures where appropriate shall be provided and properly maintained. The Agency in its sole and absolute discretion shall have the final right of approval.

(i) Design Review Criteria - All plans for proposed buildings or rehabilitation of existing buildings shall be reviewed for sensitivity of design to the architectural character of the neighboring area. The Agency shall review all plans and shall have the final right of approval. Issues in design to be considered shall include:

- (1) Roofline and building heights;
- (2) Exterior sheathing materials such as clapboard, wood shingles, or brick materials; no vinyl siding;
- (3) Distance from legal sidewalk line;
- (4) Ingress/egress;
- (5) Parking areas;
- (6) Fencing /landscaping.

(j) Additional Applicable Controls are Listed Below Under the Headings:

- (1) "Other Conditions, Covenants, Restrictions and Provisions Controlling the Development and Use of Acquired Land and Improvements" (See Page 29).
- (2) "Miscellaneous Provisions" (See Page 31).

R-1 One Family Zone(1) Permitted Uses

(a) R-1 Residential Uses of the City of Providence Zoning Ordinance shall be permitted within the area except for: Park, Playground, Community Center, Crop or Tree Farming or Public Parking Area.

(b) Parcel No. 4 and Parcel No. 5 as indicated on Map No. 5, entitled "Disposition Map" shall be developed only for one family residential structures.

(2) Development Controls for Permitted R-1 Uses(a) Maximum Density, Minimum Lot Size, Lot Coverage, Building Setbacks, and Building Heights

Shall be governed by applicable provisions of the Zoning Ordinance as amended to date.

(b) Building Construction - The construction of buildings shall conform to the regulations set forth in the Building Ordinance of the City of Providence, as amended to date.

(c) Dwelling Accommodations - All living units shall be full family dwelling accommodations, having separate and private access, complete bathroom and kitchen, and shall be otherwise in full conformity with the requirements of Chapter 1040, Ordinance of the City of Providence, entitled "The Ordinance Providing Minimum Standards for Housing", as approved July 19, 1956 and as amended to date.

(d) Name Plate or Sign - For each dwelling unit, one name plate not exceeding 1/2 square foot in area, shall be permitted, indicating the name and/or address of the occupant or any permitted occupation, and shall be suitably integrated with the architectural design of the structure which it identifies. The size, design, placement and number of signs must be specified in all redevelopment proposals. The replacement or addition of any sign during the duration of the plan must be approved by the Agency. The Agency in its sole and absolute discretion shall have the final right of approval.

(e) Off-Street Parking - Two off-street parking spaces for each dwelling unit shall be provided. The Agency in its sole and absolute discretion shall have the final right of approval.

(f) Paving for Accessory Parking - Paving on residential lots shall be limited to the following:

(1) The front yard may be used only for a driveway to access a garage or parking area located on the side or rear yard. Parking is not permitted in the front yard.

(2) Only one side of the yard shall be paved for parking;

(3) Only forty percent (40%) of the rear yard area shall be permitted to be paved for parking.

The Agency in its sole and absolute discretion shall have the final right of approval.

(g) Overnight Off-Street Parking - In residential zones, overnight off-street outside parking shall be specifically prohibited for pleasure vehicles, including recreational vehicles, campers, boats, and the like. Pleasure vehicles shall be parked overnight in a garage or rear yard.

(h) Landscaping, On-Site Improvements and Maintenance - All unbuilt areas of the site shall be provided, where needed, with suitable, properly designed and constructed walks and access drives. All unbuilt and unpaved areas of the site shall be suitably planted and permanently maintained with grass, shrubs, and trees; except where the Agency approves, an area not in excess of 20% of the unbuilt and unpaved area may be landscaped with another material for decorative purposes, or a garden only.

Outdoor parking areas shall be effectively landscaped with trees and shrubs to reduce the visual impact of glare, headlights and parking lot lights from the public right-of-way and from adjoining properties. and to enhance the aesthetic quality of the area.

After fully developed, the land, building and other improvements within the area shall be maintained in good repair and in clean and sanitary condition. Sufficient and suitable refuse and garbage storage and disposal facilities including structural enclosures where appropriate shall be provided and properly maintained. The Agency in its sole and absolute discretion shall have the final right of approval.

(i) Design Review Criteria - All plans for proposed buildings or rehabilitation of existing buildings shall be reviewed for sensitivity of design to the architectural character of the neighboring area. The Agency shall review all plans and shall have the final right of approval. Issues to be considered in building design shall include:

- (1) Roofline and building heights;
- (2) Exterior sheathing materials such as clapboard, wood shingles, or brick materials; no vinyl siding,
- (3) Distance from legal sidewalk line;
- (4) Ingress/egress
- (5) Parking areas;
- (6) Fencing/landscaping.

j) Additional Applicable Controls are Listed Below  
Under the Headings:

(1) "Other Conditions, Covenants, Restrictions and Provisions Controlling the Development and Use of Acquired Land and Improvements" (See Page 29).

(2) "Miscellaneous Provisions" (See Page 31).

- D. Add the following under Section B.3: "Site Improvements" as contained and set forth beginning on Page 10 of the certain booklet entitled "Upper South Providence Official Redevelopment Plan":

In addition, Parcels 2 and 3, abutting the Dudley Street Recreation Center shall be dedicated for public purposes. Their development shall provide expanded recreational space for the area.

- E. The following maps of the aforementioned Official Redevelopment Plan which is part of the aforementioned Ordinance, hereinafter identified are deleted:

1. Map No. 1, "Existing Land Use and Zoning", Upper South Providence Redevelopment Project, dated, January, 1984.
2. Map No. 2, "Proposed Land Use and Zoning", Upper South Providence Redevelopment Project, dated, January, 1984.
3. Map No. 3, "Proposed Acquisition", Upper South Providence Redevelopment Project, dated, January, 1984.
4. Map No. 4, "Disposition and Proposed Activity Map", Upper South Providence Redevelopment Project, dated, January, 1984.

- F. Insert the following maps in their stead:

1. Map No. 1, "Land Use", Sheets one (1) through four (4), PRA Upper South Providence/Trinity Gateway Project, dated, September, 1990.
2. Map No. 2, "Proposed Zoning", Upper South Providence Redevelopment Project, dated, September, 1990.
3. Map No. 3, "Proposed Acquisition", Upper South Providence Redevelopment Project, dated, September, 1990.
4. Map No. 4, "Disposition and Proposed Activity Map", Upper South Providence Redevelopment Project, dated, September, 1990.

- G. Paragraph numbered 7 entitled "Estimated Cost of Redevelopment and Proposed Method of Financing" as contained in and set forth on Page 34 of that certain booklet entitled "Upper South Providence Official Redevelopment Plan, 1984", which is a part of the aforementioned ordinance need not be amended. All new expenditures shall be paid through available bond funds.
2. That said Chapter 1984-17 of the Ordinance of the City of Providence as adopted and as heretofore amended, be and the same is hereby ratified and affirmed in all other respects.
3. That this Ordinance shall take effect on its passage and shall be filed with the City Clerk who is hereby authorized and directed to forward a certified copy thereof to the Providence Redevelopment Agency.

A true copy,  
Attest:

Rose M. Mendonca  
City Clerk





**Upper South Providence /  
Trinity Gateway Project**

**DEPARTMENT of PLANNING  
and DEVELOPMENT**

PROVIDENCE REDEVELOPMENT AGENCY

Upper South Providence /  
Trinity Gateway Project

LAND USE



DEPARTMENT of PLANNING  
and DEVELOPMENT

Date: 9/90 Revisions:

Legend

RESIDENTIAL

- 1 One Family
- 2 Two Family
- 3 Three Family
- 4 Multi-Family

COMMERCIAL

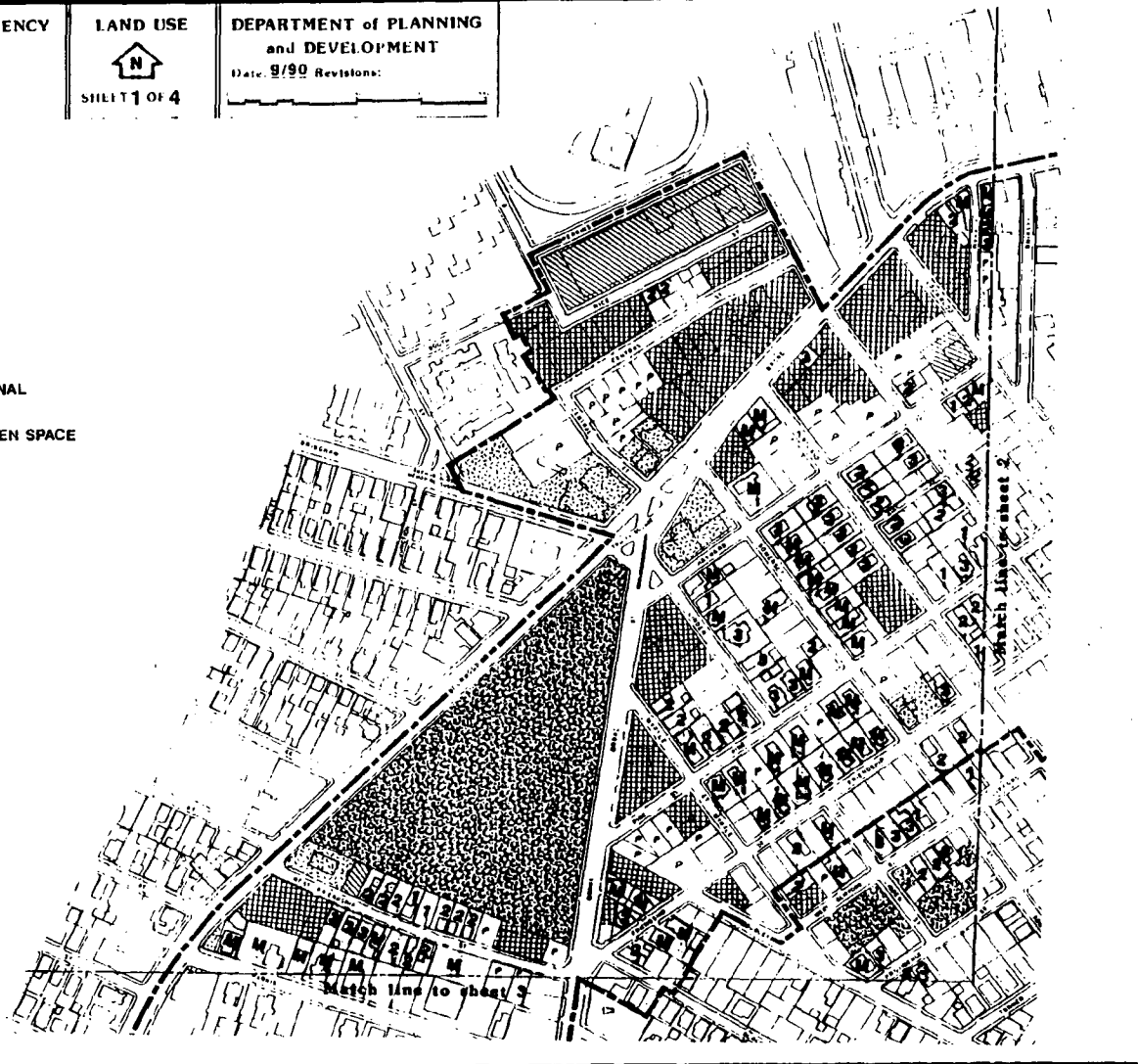
INDUSTRIAL

GENERAL INSTITUTIONAL

EDUCATIONAL

RECREATION AND OPEN SPACE

P PARKING



PROVIDENCE REDEVELOPMENT AGENCY

Upper South Providence /  
Trinity Gateway Project

LAND USE



SHEET 2 of 4

DEPARTMENT of PLANNING  
and DEVELOPMENT

Date: 9/90 Revisions:

Legend

RESIDENTIAL

- 1 One Family
- 2 Two Family
- 3 Three Family
- M Multi-Family

COMMERCIAL

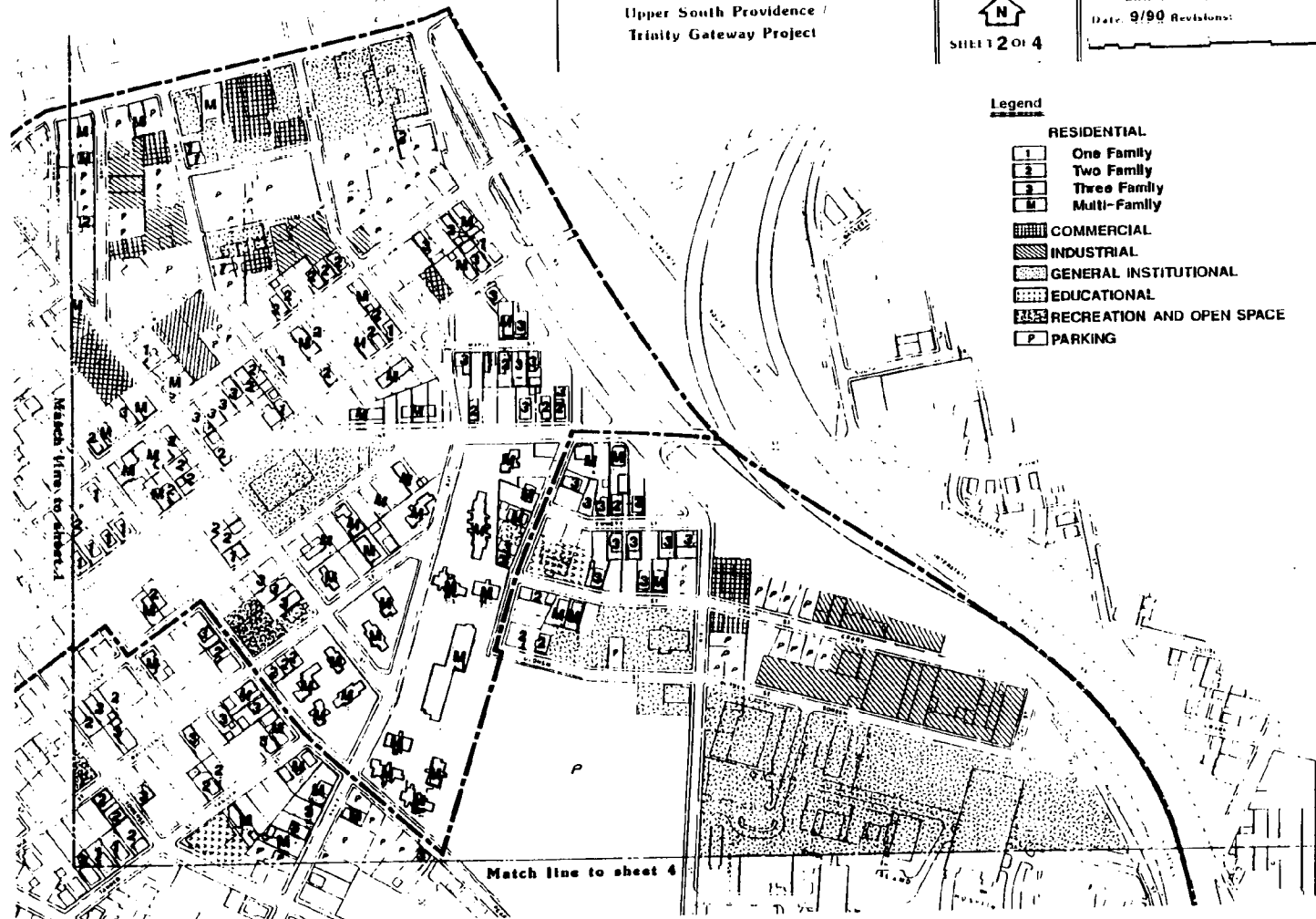
INDUSTRIAL

GENERAL INSTITUTIONAL

EDUCATIONAL

RECREATION AND OPEN SPACE

PARKING



**Legend**

**RESIDENTIAL**

- 1 One Family
- 2 Two Family
- 3 Three Family
- M Multi-Family

COMMERCIAL

INDUSTRIAL

GENERAL INSTITUTIONAL

EDUCATIONAL

RECREATION AND OPEN SPACE

P PARKING

Match line to sheet

Match line to sheet

PROVIDENCE REDEVELOPMENT AGENCY

Upper South Providence /  
Trinity Gateway Project

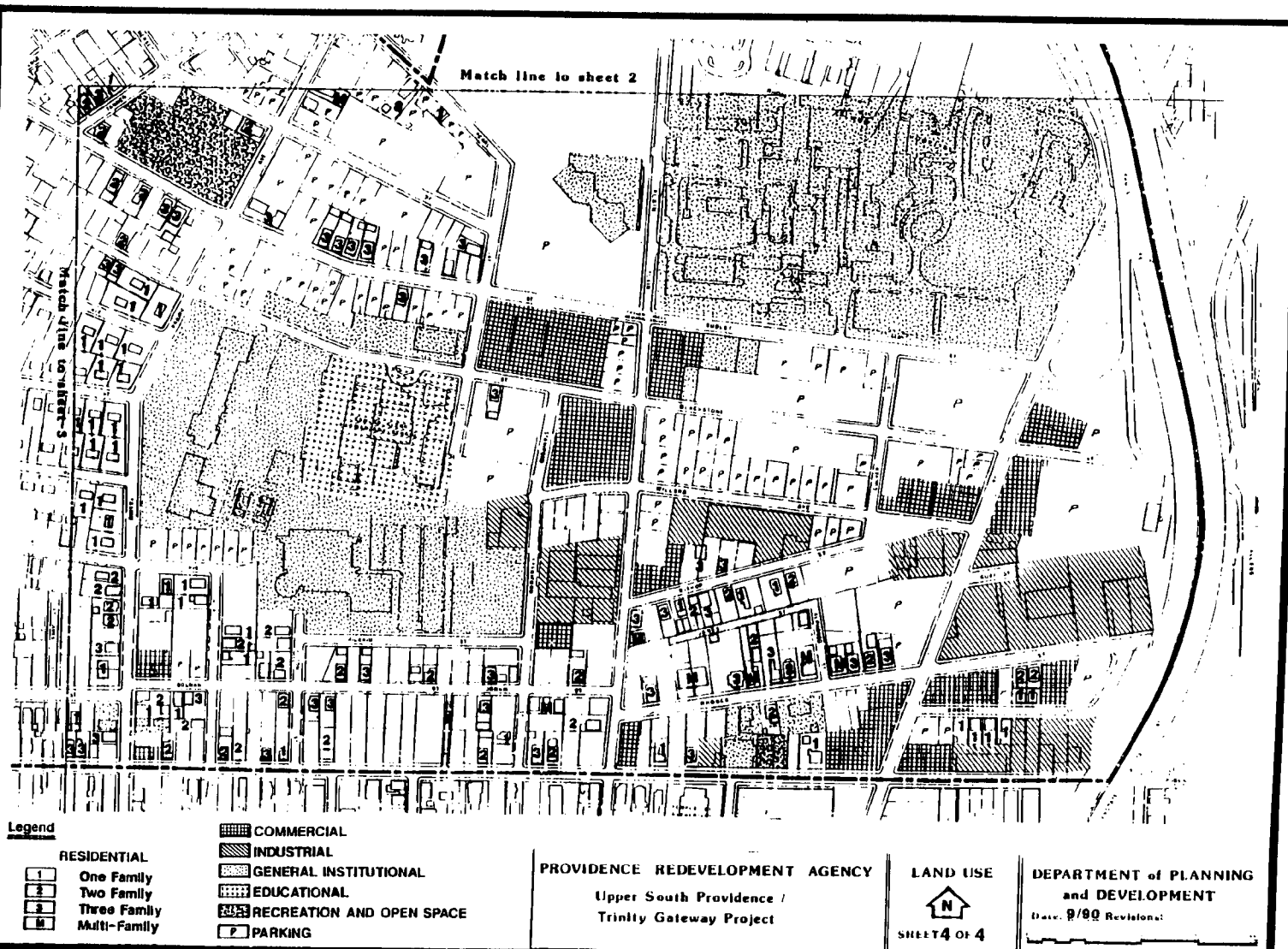
LAND USE



SHEET 3 OF 4

DEPARTMENT of PLANNING  
and DEVELOPMENT

Date: 9/90 Revisions:



**PROPOSED ZONING**

- R-1 ONE FAMILY DISTRICT
- R-2 GENERAL RESIDENCE DISTRICT
- C-1 LIMITED COMMERCIAL DISTRICT
- C-2 GENERAL COMMERCIAL DISTRICT
- C-3 HEAVY COMMERCIAL DISTRICT
- M-1 INDUSTRIAL DISTRICT
- D.S. OPEN AND PUBLIC SPACE DISTRICT

**OVERLAY ZONE**

- H-1 HEALTH CARE INSTITUTIONS
- H-2 EDUCATIONAL INSTITUTIONS



PROPOSED ZONING			
UPPER SOUTH PROVIDENCE REDEVELOPMENT PROJECT			
DEPARTMENT OF PLANNING AND DEVELOPMENT			
CITY OF PROVIDENCE			
DATE: JANUARY 2001	SCALE: 1"=100'	FILE NO.	2
REVISIONS: 01/01/01		REV. NO.	
		STATUS	

- PROJECT BOUNDARY
- PROPERTY ACQUIRED THROUGH ORIGINAL PLAN
- PROPERTY DESIGNATED FOR ACQUISITION THROUGH ORIGINAL PLAN
- ▨ PROPERTY TO BE ACQUIRED THROUGH PLAN AMENDMENT NO. 1
- PROPERTY NOT TO BE ACQUIRED
- \* PROPERTY TO BE CONVEYED FROM THE SPECIAL VACANT LOT PROGRAM



UPPER SOUTH PROVIDENCE PROJECT BOUNDARY

PROPOSED ACQUISITION			
UPPER SOUTH PROVIDENCE REDEVELOPMENT PROJECT			
DEPARTMENT OF PLANNING AND DEVELOPMENT CITY OF PROVIDENCE			
DATE: 10/1/88	BY: [Signature]	FOR THE CITY:	FILE NO.
10/1/88			3
			STATUS

	
CITY OF PROVIDENCE	
DEPARTMENT OF PLANNING AND DEVELOPMENT	
URBAN SOUTH PROVIDENCE PROJECT	
DISPOSITION	

PROJECT BOUNDARY  
 DISPOSITION PARCELS  
 PRELIMINARY TOWN MAP FOR HOUSING REDEVELOPMENT  
 INTERSECTIONS FOR POTENTIAL SITE IMPROVEMENTS



Block	Disposition	Notes
1	Phase 1	
2	Phase 2	
3	Phase 3	
4	Phase 4	
5	Phase 5	
6	Phase 6	
7	Phase 7	
8	Phase 8	
9	Phase 9	
10	Phase 10	
11	Phase 11	
12	Phase 12	
13	Phase 13	
14	Phase 14	
15	Phase 15	
16	Phase 16	
17	Phase 17	
18	Phase 18	
19	Phase 19	
20	Phase 20	
21	Phase 21	
22	Phase 22	
23	Phase 23	
24	Phase 24	
25	Phase 25	
26	Phase 26	
27	Phase 27	
28	Phase 28	
29	Phase 29	
30	Phase 30	
31	Phase 31	
32	Phase 32	
33	Phase 33	
34	Phase 34	
35	Phase 35	
36	Phase 36	
37	Phase 37	
38	Phase 38	
39	Phase 39	
40	Phase 40	
41	Phase 41	
42	Phase 42	
43	Phase 43	
44	Phase 44	
45	Phase 45	
46	Phase 46	
47	Phase 47	
48	Phase 48	
49	Phase 49	
50	Phase 50	



# City of Providence

STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS

## CHAPTER

No. **AN ORDINANCE** in amendment of and in addition to Chapter 1983-19 of the Ordinance of the City of Providence approved May 3, 1983 and entitled "An Ordinance Approving and Adopting the Official Redevelopment Plan for the Trinity Gateway Revitalization Project" for additional acquisition and development controls.

*Approved*

*Be it ordained by the City of Providence:*

1. That Chapter 1983-19 of the Ordinance of the City of Providence, approved May 3, 1983, and entitled, "An Ordinance Approving and Adopting the Official Redevelopment Plan for the Trinity Gateway Revitalization Project" as amended by Chapter 1988-44 of the Ordinance of the City of Providence, approved November 23, 1988, be and the same is hereby further amended as follows:

- A. Add the following properties to the acquisition list in Section E-2 entitled "Proposed Acquisition" as contained in and set forth on Page 19 of the certain booklet entitled, "Trinity Gateway Revitalization Project" which is part of the aforementioned Ordinance.

<u>Assessor's</u>	
<u>Plat</u>	<u>Lot</u>

<u>Assessor's</u>		<u>Address</u>
<u>Plat</u>	<u>Lot</u>	

44	332	64 Dartmouth Avenue
44	333	62 Dartmouth Avenue
44	334	56 Dartmouth Avenue
44	335	54 Dartmouth Avenue
44	336	48 Dartmouth Avenue
44	314	122 Wesleyan Avenue
24	202 *	298 Friendship Street

- B. Add the following Section under Section F.1 entitled "Standards and Controls for Land Development" as contained and set forth on Page 20 of the certain booklet entitled "Trinity Gateway Revitalization Project" prior to the section entitled "R-4 Multiple Residential Zone".

R-3 General Residence Zone

1) Permitted Uses

- (a) R-3 Residential dwelling uses of the City of Providence Zoning Ordinance shall be permitted within the area except for: Apartment Hotel or Hotel, Fraternity or Sorority House, or Rooming House.

\* Property to be acquired by purchase from the Rhode Island Department of Transportation, Division of Administration and Financial Real Estate.

2) Development Controls for Permitted R-3 Uses:

- (a) Maximum Density, Minimum Lot Size, Lot Coverage, Building Setbacks, and Building Heights - Shall be governed by applicable provisions of the Zoning Ordinance as amended to date.
- (b) Building Construction - The construction of buildings shall conform to the regulations set forth in the State Building Code, as amended to date.
- (c) Dwelling Accommodations - All living units shall be full-family dwelling accommodations, having separate and private access, complete bathroom and kitchen, and shall be otherwise in full conformity with the requirements of Chapter 1040, Ordinance of the City of Providence, entitled: "The Ordinance Providing Minimum Standards for Housing," as approved July 19, 1956 and as amended to date.
- (d) Name Plate or Sign - For each dwelling unit, one name plate not exceeding 1/2 square foot in area, shall be permitted, indicating the name and/or address of the occupant or any permitted occupation, and shall be suitably integrated with the architectural design of the structural design of the structure which it identifies. The size, design, placement and number of signs must be specified in all redevelopment proposals. The replacement or addition of any sign during the duration of the plan must be approved by the Agency. The Agency, in its sole and absolute discretion, shall have the final right of approval.
- (e) Off-Street Parking - Two off-street parking spaces for each dwelling unit shall be provided. The Agency, in its sole and absolute discretion, shall have the final right of approval.
- (f) Paving for Accessory Parking - Paving on residential lots shall be limited to the following:
  - (1) The front yard may be used only for a driveway to access a garage or parking area located on the side or rear yard. Parking is not permitted in the front yard.
  - (2) Only one side of the yard shall be paved for parking.
  - (3) Only forty percent (40%) of the rear yard area shall be permitted to be paved for parking.

The Agency, in its sole and absolute discretion, shall have the final right of approval.

- (g) Overnight Off-Street Parking - In residential zones, overnight off-street outside parking shall be specifically prohibited for pleasure vehicles, including: campers, recreational vehicles, boats and the like. Pleasure vehicles shall be parked overnight in a garage or in the rear yard.
- (h) Landscaping, On-Site Improvements and Maintenance - All unbuilt areas of the site shall be provided, where needed, with suitable, properly designed and constructed walks and access drives. All unbuilt and unpaved areas of the site shall be suitably planted and permanently maintained with grass, shrubs, and trees; except where the Agency approves, an area not in excess of 20% of the unbuilt and unpaved area may be landscaped with another material for decorative purposes, or a garden only. Outdoor parking areas shall be effectively landscaped with trees and shrubs to reduce the visual impact of glare, headlights and parking lot lights from the public right-of-way and from adjoining properties and to enhance the aesthetic quality of the area.

After fully developed, the land, building and other improvements within the area shall be maintained in good repair and in clean and sanitary condition. Sufficient and suitable refuse and garbage storage and disposal facilities including structural enclosures, where appropriate, shall be provided and properly maintained. The Agency, in its sole and absolute discretion, shall have the final right of approval.

- (i) Design Review Criteria - All plans for proposed buildings or rehabilitation of existing buildings shall be reviewed for sensitivity of design to the architectural character of the neighboring area. The Agency shall review all plans and shall have the final right of approval. Issues in design to be considered shall include:
- (1) Roofline and building heights.
  - (2) Exterior sheathing materials such as clapboard, wood shingles, or brick materials; no vinyl siding.
  - (3) Distance from legal sidewalk line.
  - (4) Ingress/egress.
  - (5) Parking areas.
  - (6) Fencing /landscaping.
- (j) Additional Applicable Controls are Listed Below Under the Headings:
- (1) "Other Conditions, Covenants, Restrictions and Provisions Controlling the Development and Use of Acquired Land and Improvements" (See Page 30).
  - (2) "Miscellaneous Provisions" (See Page 32).

- C. Add the following Section under Section F.1 entitled "Standards and Controls for Land Development" as contained and set forth on Page 20 of the certain booklet entitled "Trinity Gateway Revitalization Project" prior to the Section entitled "C-4 Heavy Commercial Zone".

C-1 Limited Commercial Zone

1) Permitted Uses

- (a) C-1 Limited Commercial Uses of the City of Providence Zoning Ordinance shall be permitted within the Area, except for the following uses: Club, Lodge (non-profit) or Fraternal Association, Package Liquor Store.

2) Development Controls for Permitted C-1 Uses

- (a) Maximum Density, Minimum Lot Size, Lot Coverage, Building Setbacks, and Building Height:

Shall be governed by the applicable provisions of the Zoning Ordinance as amended to date.

- (b) Building Construction: The construction of buildings shall conform to the regulations set forth in the Building Ordinance of the City of Providence, as amended to date.

(c) Permitted Signs:

(1) Number of Signs Permitted: A maximum of two (2) signs shall be permitted, including any plaques, and signs which are integrated into the building's architecture. This limitation shall not include directional signs for multiple unit buildings where the same number of signs will be allowed for each business.

(2) Subject Matter: Signs shall pertain only to the identification of the business conducted within the building to the product sold, or to the direction or visitors. No pictures or samples shall be permitted on a sign except as a part of a trademark. No flashing or animated signs shall be permitted.

(3) Type of Signs Permitted: Horizontal or vertical wall signs, otherwise known as belt or face signs. Signs painted on the wall shall not be allowed. Plaques, attached to the face of the building in close proximity to the main entrance and bearing the name and/or trademark of the firm will be permitted. All necessary directional signs on the lot occupied by the building to which the signs pertain will also be permitted. Additional signs permitted shall include: canopy signs, freestanding signs, projecting signs, roof signs, and window signs.

(4) Permitted Sign Location: No signs shall extend above the roof or parapet, and no signs shall be attached to, sit upon, or be painted on the roof or canopy. No free standing signs shall be permitted other than for visitor directional signs.

(5) Sign Dimensions: No signs shall exceed a maximum surface area of one and one half (1.5) square feet for each linear foot of that face of the building displaying such signs. No sign shall project more than twelve (12) inches from the face of the building on which such sign is displayed. No plaques shall exceed eight (8) square feet in surface area. In the event that the Zoning Ordinance is amended in 1990 with more stringent sign requirements, the amended requirements shall apply.

(6) Sign Illumination: Any spotlight or similar illumination shall be so directed and shielded that the light source is not visible from any adjacent right-of-way or from any adjacent properties.

(7) Additional Regulations: In addition to the above sign controls, signs of an individual unit (within a multiple unit building) shall not extend beyond that portion of the face of the building which directly encloses that unit. The Agency, in its sole and absolute discretion, shall have the final right of approval.

(d) Off-Street Parking: Shall be governed by the applicable provisions of the Zoning Ordinance as amended to date.

(e) Off-Street Loading: Shall be governed by the applicable provisions of the Zoning Ordinance as amended to date.

(f) Parking Space Construction: All off-street parking and loading areas, including drives and other accessways, shall be adequately paved with bituminous or cement concrete or other equivalent surfacing material and shall be provided with appropriate bumper and wheel guards where needed. The parking area shall be screened as stated in paragraph (i). The parking area shall be landscaped such that for every 2,000 square feet of gross parking area over 4,000 square feet of lot area there shall be at least one (1) live tree which shall be at least fifteen (15) feet high at the time of planting and which will attain a height of at least twenty (20) feet, and there shall be an area of at least two hundred (200) square feet which shall be planted and permanently maintained in grass.

Illumination shall be so arranged as to shield the light source from the view of all adjoining lots and from all abutting streets.

In the event that the Zoning Ordinance is amended in 1990 with more stringent requirements, the amended regulations shall apply. The Agency, in its sole and absolute discretion, shall have the final right of approval.

- (g) Screening: Except for that portion of a driveway or accessway which opens directly into a public right-of-way, outdoor parking and loading areas shall be screened from the view of all adjoining residential uses and from all adjacent streets by means of a uniform growth of evergreen plant materials at least four (4) feet wide and at least four and one half (4 1/2) feet high at the time of planting (measured at the edge of the street right-of-way, in case of parking areas located at or below the street grade; and measured at the edge of the parking area pavement, in the case of parking areas located above the street grade) and which is of a variety that will attain a height of at least six (6) feet. With the approval of the Agency, the following types of screening may also be permitted, namely: (1) masonry wall, which shall not be greater in height than (4 1/2) feet nor less than four (4) feet, measured as cited above for evergreens, which shall be of uniform appearance, and which shall be integrated with the architectural design, style and facia of the proposed buildings as well as with the architecture(s) of adjacent, existing buildings. However, neither rough, unfinished cinder block, nor rough, unfinished concrete shall be permitted. (2) continuous wooden fence, which shall not be greater in height than four and one half (4 1/2) feet not less than four (4) feet, measured as above for evergreens, and which shall be of uniform appearance, and which shall be integrated with the architectural design, style and facia of the building, as well as with the architecture(s) of adjacent, existing buildings. A uniform appearing, adequate, year-around screen shall be approved by the Agency. On that portion of a lot in the triangle formed by the lines of streets intersecting at an angle of less than one hundred thirty five (135) degrees and a line joining points on such lines fifteen (15) feet distant from their point of intersection, screening shall be provided at a height of three and one half (3 1/2) feet.

In the event that the Zoning Ordinance is amended in 1990 with more stringent requirements, the amended regulations shall apply. The Agency, in its sole and absolute discretion, shall have the final right of approval.

- (h) Landscaping and On-Site Improvements and Maintenance: The entire site shall be properly graded and drained. All unbuilt areas of the site shall be provided, where needed, with suitable walks and access drives which are properly designed and constructed. All unbuilt and unpaved areas of the site shall be planted and permanently maintained with grass, shrubs and trees, except that subject to review and approval by the Agency, an area not in excess of 20% of the unbuilt and unpaved portion of the site, may be maintained in a landscaping material other than grass, shrubs and trees.

After fully developed, the land, buildings, and other improvements to all sites in the project area shall be maintained in good repair and in clean and sanitary conditions. Sufficient and suitable refuse and garbage storage and disposal facilities, including structural enclosures where appropriate, shall be provided and properly maintained. The Agency, in its sole and absolute discretion, shall have the final right of approval.

(1) Land and Improvements (See Page 30)

(2) Miscellaneous Provisions (See Page 32)

D. The following maps of the aforementioned Official Redevelopment Plan which is a part of the aforementioned ordinance, hereinafter identified are deleted:

- 1) Map No. 1, "Existing Land Use and Zoning", Sheet 1 of 2 and Sheet 2 of 2, Trinity Gateway Revitalization Project, dated October, 1988.
- 2) Map No. 2, "Proposed General Land Use and Zoning", Sheet 1 of 2 and Sheet 2 of 2, Trinity Gateway Revitalization Project, dated October, 1988.
- 3) Map No. 3, "Proposed Zoning Changes", Trinity Gateway Revitalization Project, dated October, 1988.
- 4) Map No. 4, "Proposed Acquisition", Trinity Gateway Revitalization Project, dated October, 1988.
- 5) Map No. 5, "Disposition Map", Sheet 1 of 2 and Sheet 2 of 2, Trinity Gateway Revitalization Project, dated October, 1988.
- 6) Map No. 6, "Proposed Site Improvements", Trinity Gateway Revitalization Project, dated October, 1988.
- 7) Map No. 7, "Right-of-Way Adjustments", Trinity Gateway Revitalization Project, dated October, 1988.

E. Insert the following maps in their stead:

- 1) Map No. 1, "Land Use", Sheets one through four, PRA Upper South Providence/Trinity Gateway Project, dated September, 1990.
- 2) Map No. 2, "Existing Zoning", Trinity Gateway Revitalization Project, dated September, 1990.
- 3) Map No. 3, "Proposed Zoning", Trinity Gateway Revitalization Project, dated September, 1990.
- 4) Map No. 4, "Proposed Acquisition", Sheet 1 of 2 and Sheet 2 of 2, Trinity Gateway Revitalization Project, dated September, 1990.
- 5) Map No. 5, "Disposition Map", Trinity Gateway Revitalization Project, dated September, 1990.
- 6) Map No. 6, "Proposed Site Improvements", Trinity Gateway Revitalization Project, dated September, 1990.
- 7) Map No. 7, "Proposed Right-of-Way Adjustments", Trinity Gateway Revitalization Project, dated September, 1990.

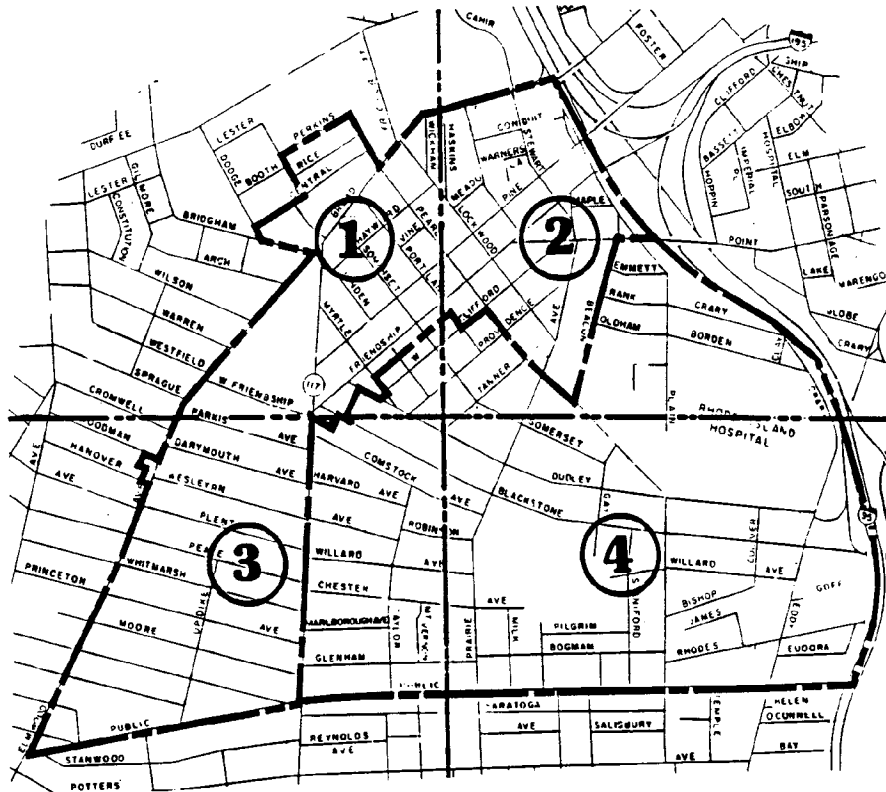
F. Paragraph numbered 7 entitled "Estimated Cost of Redevelopment and Proposed Method of Financing" as contained in and set forth on Page 34 of that certain booklet entitled "Trinity Gateway Revitalization Project, 1983", which is part of the aforementioned ordinance, need not be amended. All new expenditures are covered by available bond funds.

2. That said Chapter 1983-19 of the Ordinance of the City of Providence as adopted and as heretofore amended, be and the same is hereby ratified and affirmed in all other respects.
3. That this Ordinance shall take effect on its passage and shall be filed with the City Clerk who is hereby authorized and directed to forward a certified copy thereof to the Providence Redevelopment Agency.

A true copy,  
Attest:

Rose M. Mendonca  
City Clerk





## INDEX SHEET

PROVIDENCE REDEVELOPMENT AGENCY  
Upper South Providence /  
Trinity Gateway Project

DEPARTMENT of PLANNING  
and DEVELOPMENT

PROVIDENCE REDEVELOPMENT AGENCY

Upper South Providence /  
Trinity Gateway Project

LAND USE



SHEET 1 OF 4

DEPARTMENT of PLANNING  
and DEVELOPMENT

Date: 9/90 Revisions:

Legend

RESIDENTIAL

- 1 One Family
- 2 Two Family
- 3 Three Family
- M Multi-Family

COMMERCIAL

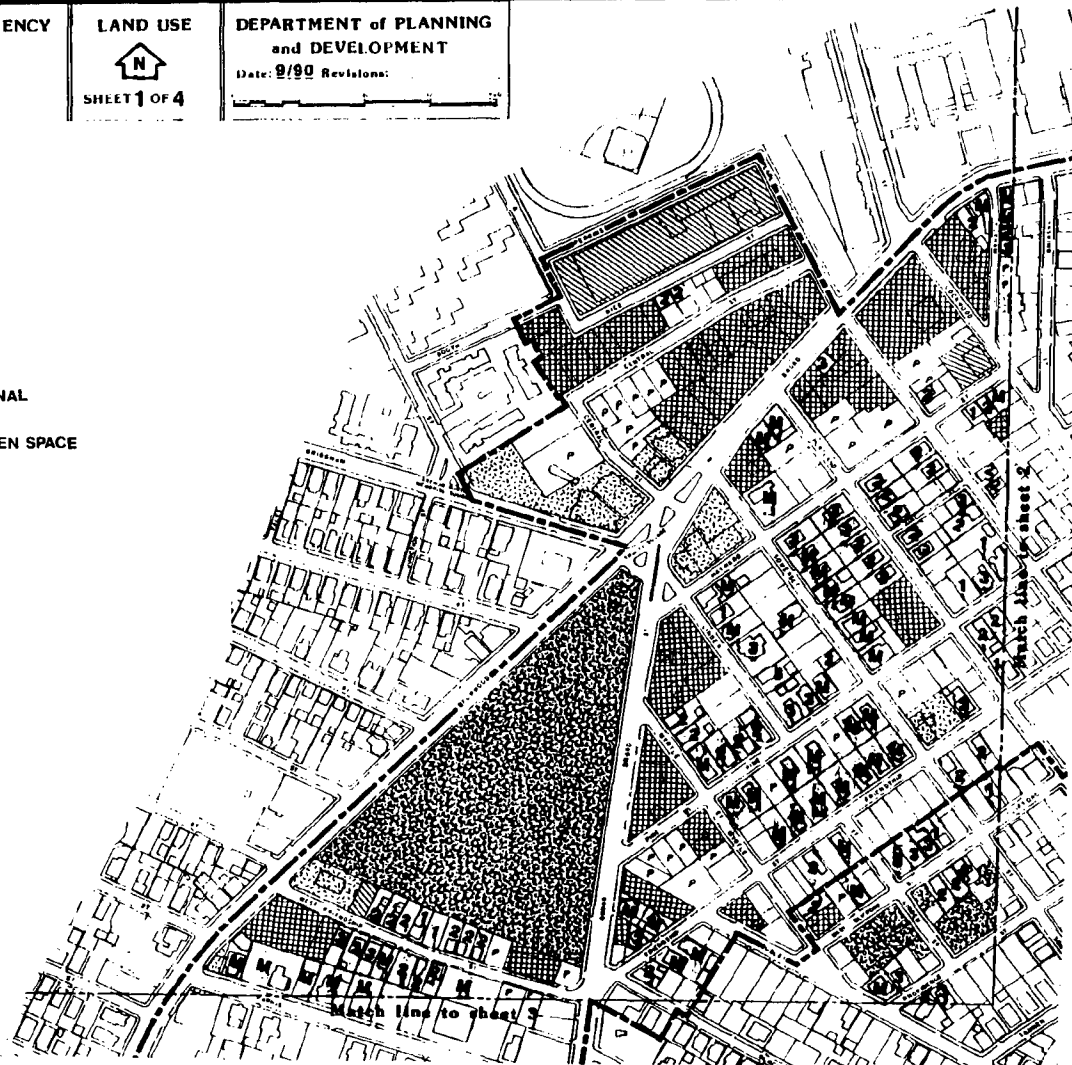
INDUSTRIAL

GENERAL INSTITUTIONAL

EDUCATIONAL

RECREATION AND OPEN SPACE

P PARKING



PROVIDENCE REDEVELOPMENT AGENCY

Upper South Providence /  
Trinity Gateway Project

LAND USE



SHEET 2 OF 4

DEPARTMENT of PLANNING  
and DEVELOPMENT

Date: 9/90 Revisions:

Legend

RESIDENTIAL

- 1 One Family
- 2 Two Family
- 3 Three Family
- M Multi-Family

COMMERCIAL

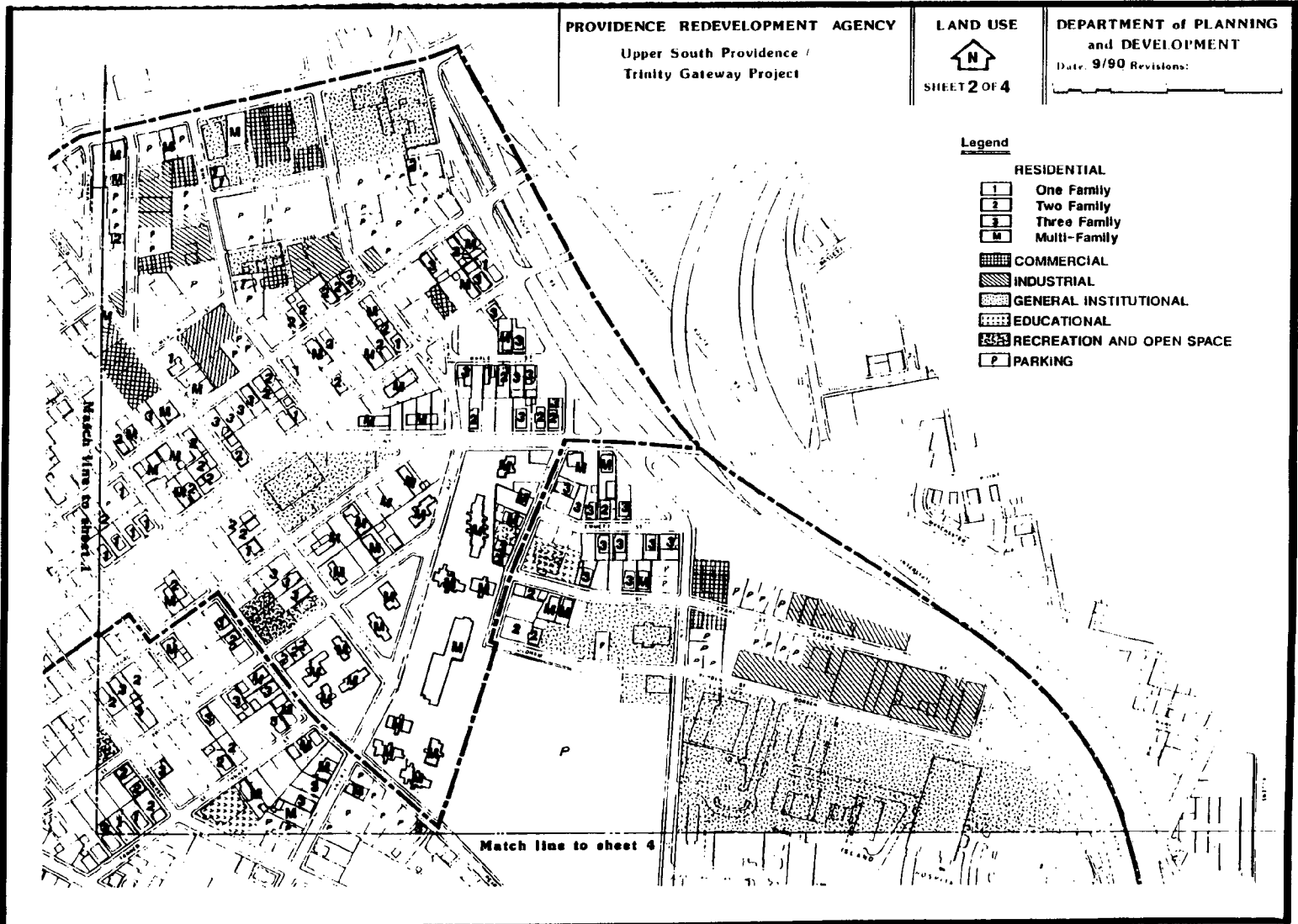
INDUSTRIAL

GENERAL INSTITUTIONAL

EDUCATIONAL

RECREATION AND OPEN SPACE

PARKING



**Legend**

**RESIDENTIAL**

- 1 One Family
- 2 Two Family
- 3 Three Family
- M Multi-Family

COMMERCIAL

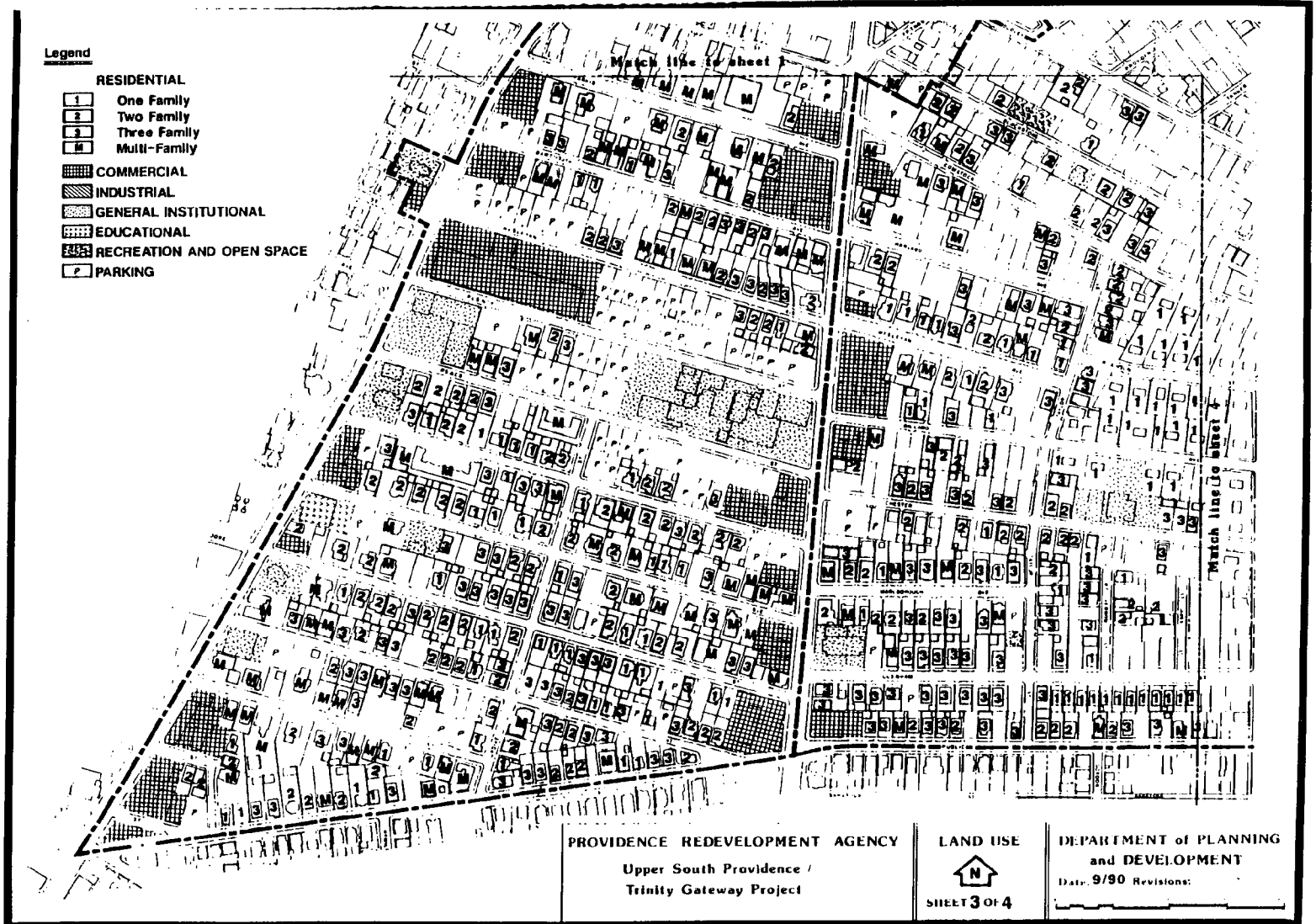
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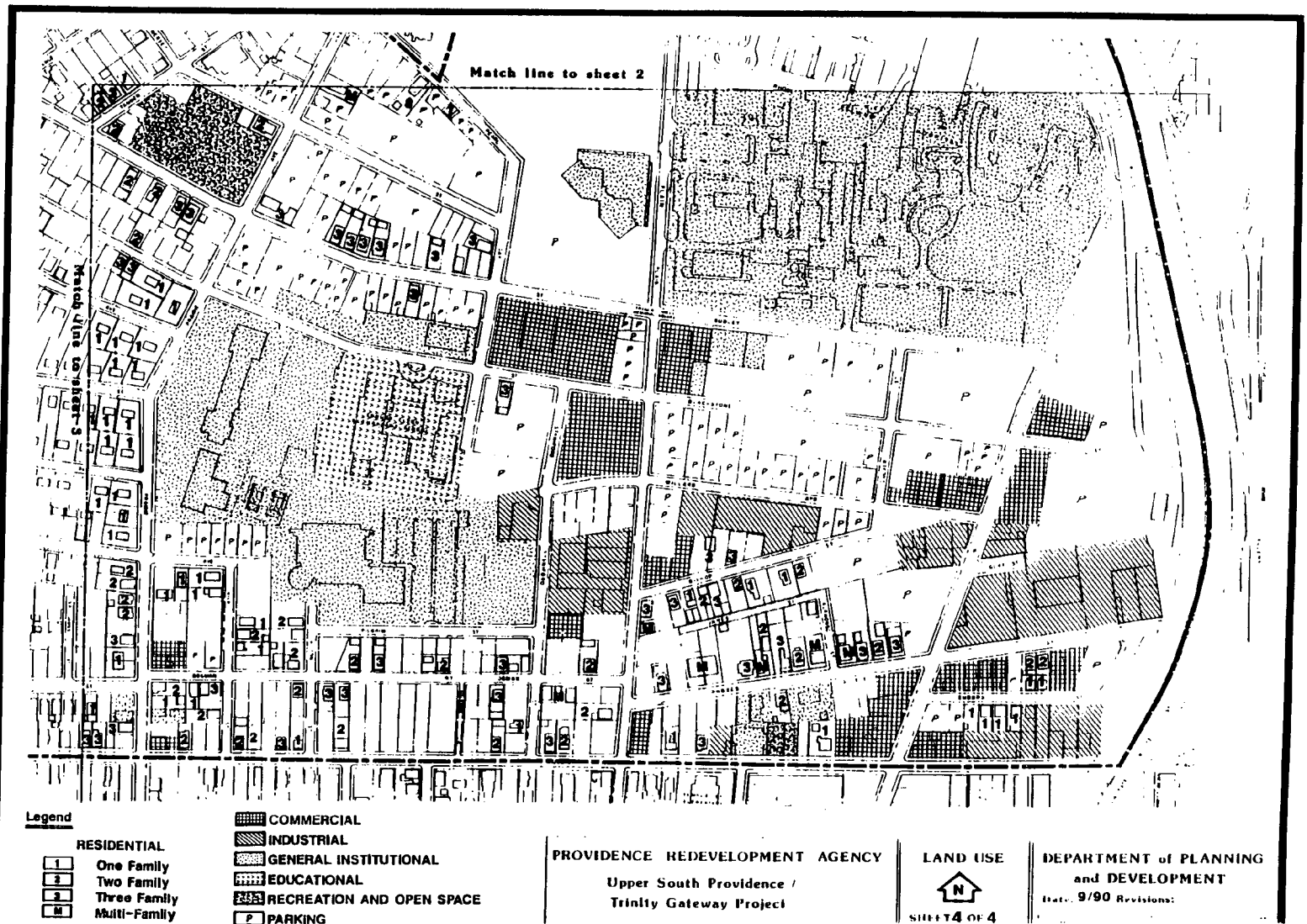
GENERAL INSTITUTIONAL

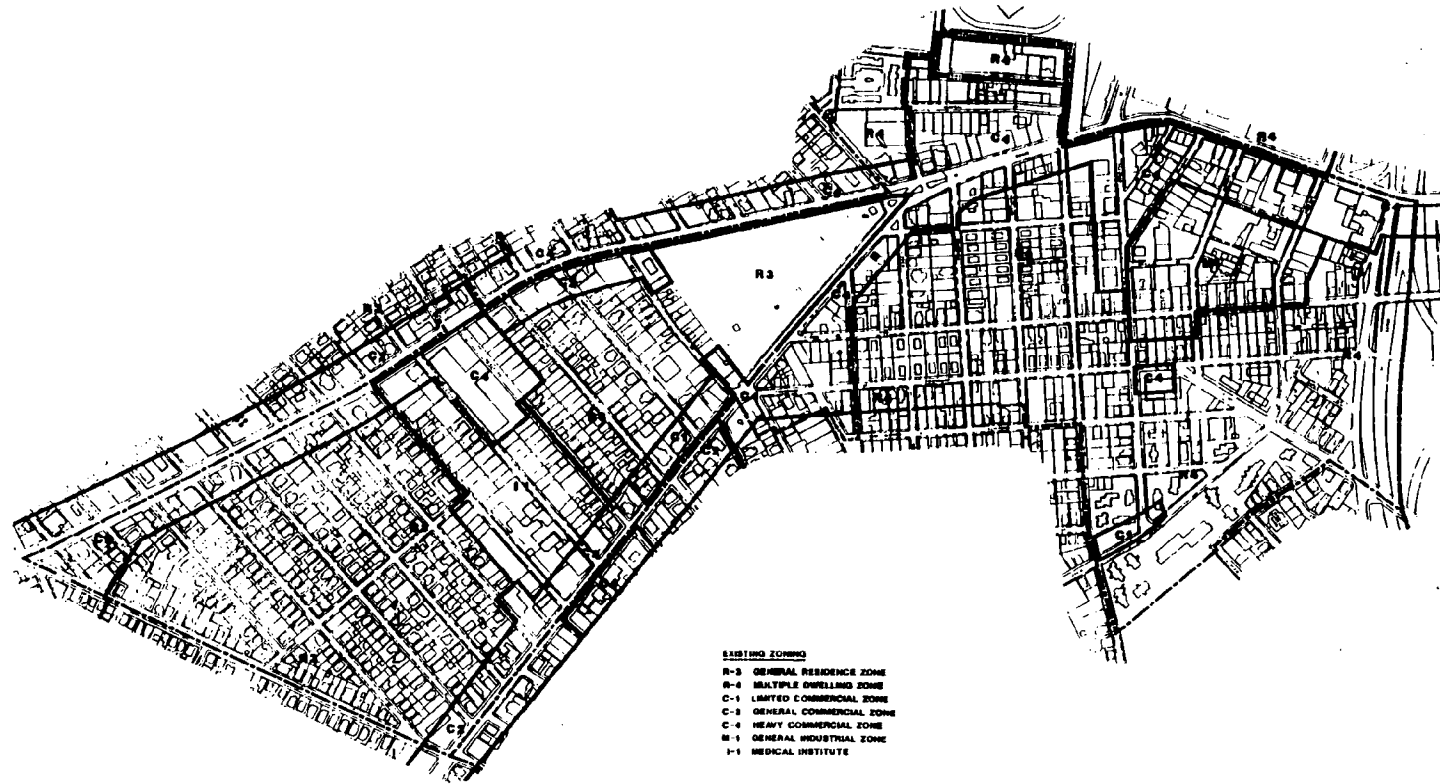
EDUCATIONAL

RECREATION AND OPEN SPACE

PARKING

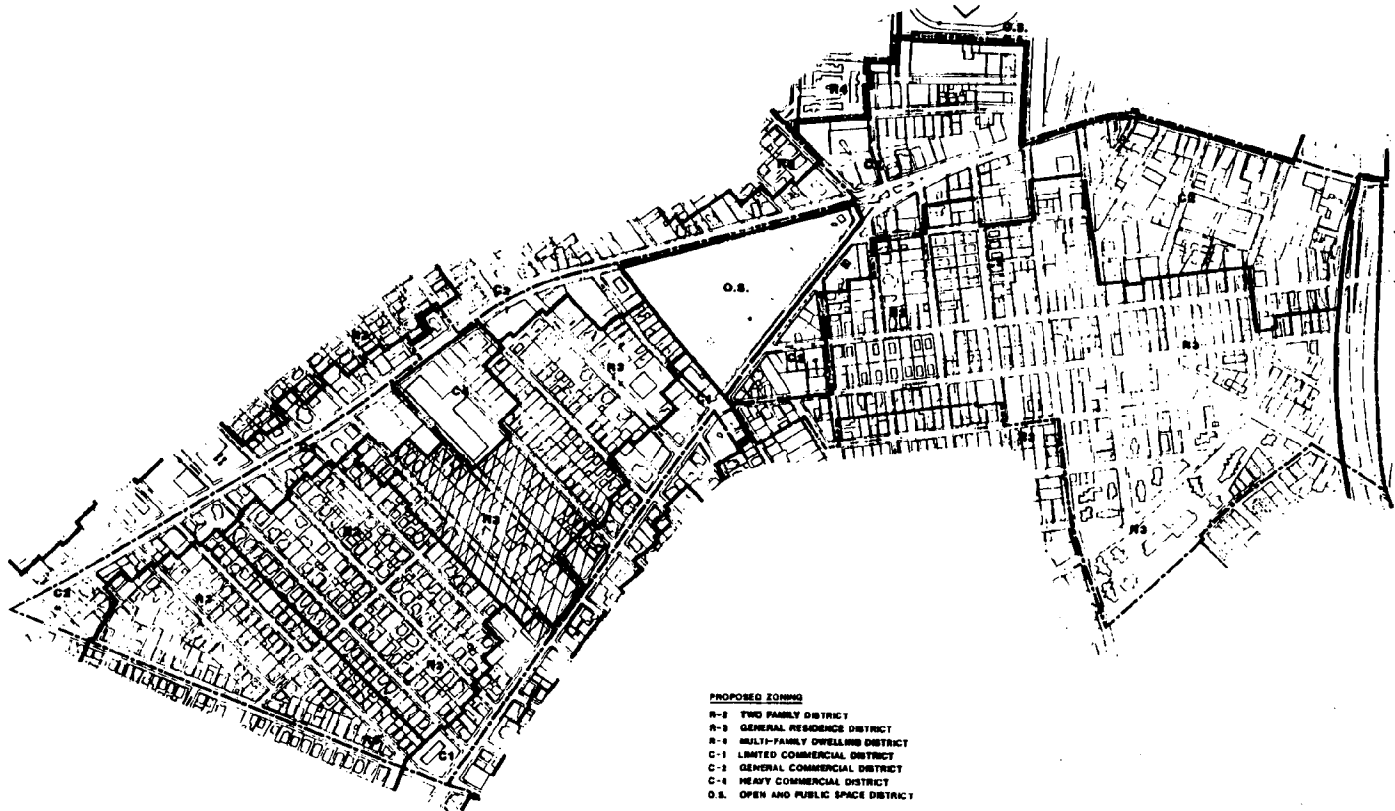






EXISTING ZONING  
R-3 GENERAL RESIDENCE ZONE  
R-4 MULTIPLE DWELLING ZONE  
C-1 LIMITED COMMERCIAL ZONE  
C-2 GENERAL COMMERCIAL ZONE  
C-3 HEAVY COMMERCIAL ZONE  
C-4 HEAVY COMMERCIAL ZONE  
M-1 GENERAL INDUSTRIAL ZONE  
I-1 MEDICAL INSTITUTE

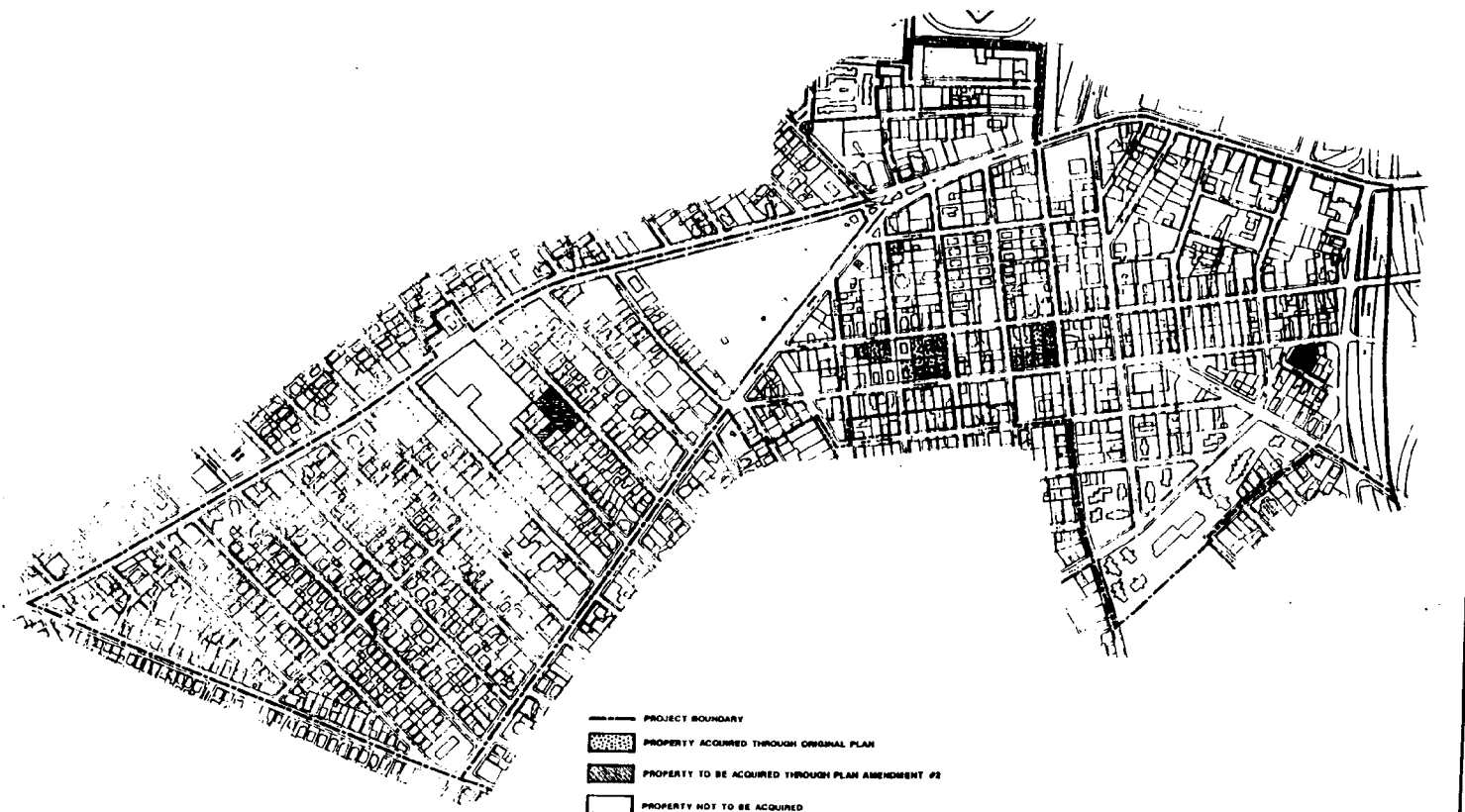
EXISTING ZONING			
TRINITY GATEWAY			
DEPARTMENT OF PLANNING AND DEVELOPMENT			
CITY OF HOUSTON			
DATE: JANUARY 1991	SCALE: 1"=100'	PLS NO. 1	MAP NO. 2
REVISIONS: 10/91			STATUS






PROPOSED ZONING  
 R-2 TWO FAMILY DISTRICT  
 R-3 GENERAL RESIDENCE DISTRICT  
 R-4 MULTI-FAMILY DWELLING DISTRICT  
 C-1 LIMITED COMMERCIAL DISTRICT  
 C-2 GENERAL COMMERCIAL DISTRICT  
 C-3 HEAVY COMMERCIAL DISTRICT  
 O.S. OPEN AND PUBLIC SPACE DISTRICT

OVERLAY ZONE  
 I-1 HEALTH CARE INSTITUTION OVERLAY ZONE

PROPOSED ZONING			
TRINITY GATEWAY			
REZONING PROJECT			
DEPARTMENT OF PLANNING AND DEVELOPMENT			
CITY OF PROVIDENCE			
DATE: JANUARY 1991	SCALE: 1"=100'	FILE NO.	
REVISIONS: None		MAP NO.	3
		STATUS	



- PROJECT BOUNDARY
-  PROPERTY ACQUIRED THROUGH ORIGINAL PLAN
-  PROPERTY TO BE ACQUIRED THROUGH PLAN AMENDMENT #2
-  PROPERTY NOT TO BE ACQUIRED

<b>PROPOSED ACQUISITION</b>			
<b>TENNY GATEWAY</b>			
DEPARTMENT OF PLANNING AND DEVELOPMENT			
CITY OF PROVIDENCE			
DATE: 10/1/81	SCALE: 1"=100'	FILE NO.	STATUS
REVISION: 1		4	





- - - - - PROJECT BOUNDARY  
 [Symbol] EXISTING RIGHT OF WAY TO BE ABANDONED  
 [Symbol] DISPOSITION PARCEL PLAN  
 [Symbol] DISPOSITION PARCEL PLAN AMENDMENT NO. 2  
 [Symbol] EXISTING RIGHT OF WAY TO BE ABANDONED PLAN AMENDMENT NO. 2

PLAN				
SLT	AREA	LOC	DISPOSITION	METHOD
1	23,238	RES	SALE	
2	23,238	"	"	
3	3,000	RELOC	"	
4	270	"	"	
5	NO STREET	EDUCATION	"	

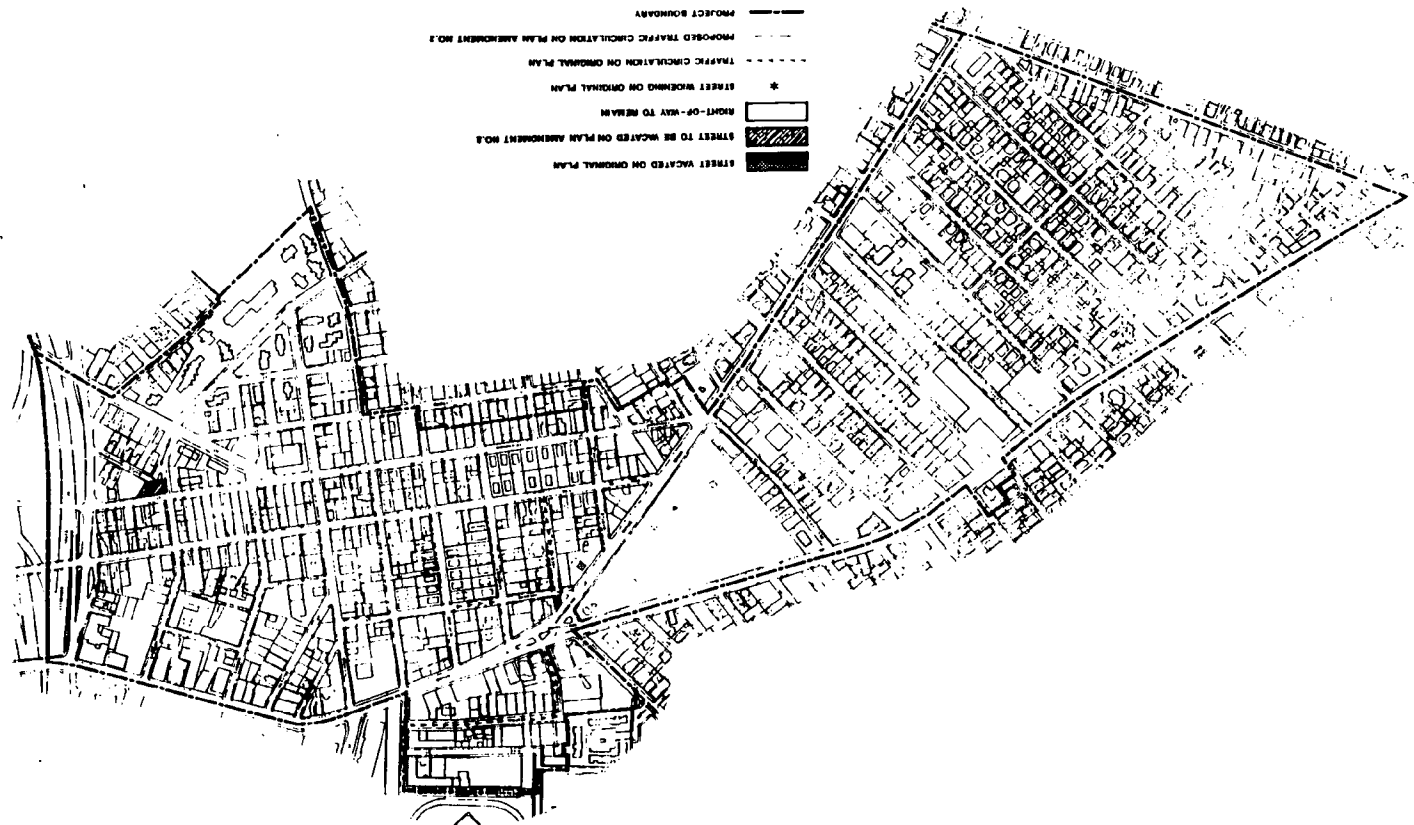
PLAN AMENDMENT NO. 2				
SLT	AREA	LOC	DISPOSITION	METHOD
6	25,000	RES	SALE	
7	11,187	RELOC	"	
8	3,762	"	"	

DISPOSITION MAP				
THIRTY GATEWAY				
REVENUE DISTRICT				
DEPARTMENT OF PLANNING AND DEVELOPMENT				
CITY OF CHICAGO				
DATE: AUGUST 1987	SCALE: 1" = 100'	FILE NO.		
REVISIONS: 1		MAP NO.		
		5		



PROPOSED SITE IMPROVEMENTS			
<b>THIRTY GATEWAY</b> REDEVELOPMENT DEPARTMENT OF PLANNING AND DEVELOPMENT CITY OF FRESNO			
DATE: JANUARY 1981	SCALE: 1"=80'	PLS NO.	DATE: 1/1/81
REVISION: 1/1/81		APP. NO.	STATUS
		8	

PROJECT NO. 1 DATE 10/1/54 SHEET NO. 1	
TITLE PROPOSED TRAFFIC CIRCULATION ON PLAN AMENDMENT NO. 1	
PREPARED BY DIVISION OF PLANNING AND RECREATION DEPARTMENT OF PUBLIC WORKS CITY OF BOSTON	
CHECKED BY DIVISION OF PLANNING AND RECREATION DEPARTMENT OF PUBLIC WORKS CITY OF BOSTON	
APPROVED BY DIVISION OF PLANNING AND RECREATION DEPARTMENT OF PUBLIC WORKS CITY OF BOSTON	



Appendix II: Proposed Acquisition List

PROVIDENCE REDEVELOPMENT AGENCY  
400 WESTMINSTER STREET  
PROVIDENCE, RHODE ISLAND 02903

PROPERTY RESALE POLICY  
FOR  
UPPER SOUTH PROVIDENCE/TRINITY GATEWAY  
REVITALIZATION PROJECT

In reference to the sale of land acquired through this redevelopment project, it shall be the policy of the Providence Redevelopment Agency to offer land for development of affordable housing. Parcels consisting in buildable lots shall be sold to a designated developer at "minimal cost". Subsequent to the construction of a predetermined number of residential structures, the properties shall be resold by the developer with the requirement of owner occupancy.

Upon completion of the construction, the developer shall be required to submit to the Providence Redevelopment Agency a certified pro forma outlining the net cost of construction and the sale price of the property. This provision is to ensure that the developer is in conformance with Agency policy to construct affordable housing.

When the residential properties are sold, the following anti-speculation easement shall be issued:

\_\_\_\_\_ agree(s) to the following conditions concerning our purchase of the property at \_\_\_\_\_, Plat \_\_\_\_\_, Lot \_\_\_\_\_.

1. Anti-Speculation Easement  
If we resell the  
property within:

We must repay this %  
of any profits to PRA \*

1 year from the date  
of original sale

100%

1 year, 1 day to 2 years  
from the date  
of original sale

80%

2 years, 1 day to 3 years  
from the date  
of original sale

60%

3 years, 1 day to 4 years from the date of original sale	40%
4 years, 1 day to 5 years from the date of original sale	20%
5 years, 1 day from the date of original sale	0%

2. I (We) will live in the property at \_\_\_\_\_  
for a period of at least five (5) years following the  
date of closing. I (We) agree that the rent (utilities  
not included) charged for the rental unit will not be  
greater than \_\_\_\_\_ in the first year  
following the date of closing. We will be allowed an  
increase over the base rent in each successive year to  
match proportional increases in real estate taxes,  
house insurance and the cost of living.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Date

- \* The profit is the difference between the purchase price plus  
improvements, and the sale price. Submission of  
improvements must include verification such as receipts for  
items purchased and/or for work completed.

In addition, the following restriction shall be included in  
the Agreement signed by the developer and the Providence  
Redevelopment Agency at the day of closing, to be recorded with  
the deed.

AND FURTHER RESTRICTED:

The above premises are being conveyed subject to the restriction and conditions that upon transfer or sale of the said premises, or any portion thereof, by (Developer) to third party purchasers for value, the deed of transfer or conveyance shall contain the following restriction and condition:

If the premises described in this deed are transferred, conveyed, leased, or assigned by the Grantee(s) within five (5) years of (closing date), said Grantee(s), their heirs and assigns and every successor in interest will pay to the Providence Redevelopment Agency, the value differential between the purchase price for the transfer of Parcel(s) (#) as described in that deed from the Providence Redevelopment Agency to (Developer) dated (date), and the fair market value of the said lots as of (closing date) which is established at:

In the event that the transfer or sale by (Developer) to said third party purchaser is of less than all of the property described above as Parcel (#), the value differential to be paid to the Providence Redevelopment Agency, if any, shall be apportioned pro rata on a square footage basis.

## Cost Estimates

<u>Activity</u>	<u>Upper South Providence</u>	<u>Trinity Gateway</u>
Acquisition (Assessed Value x 1.25)	\$ 752,550.00	\$ 85,555.88
Relocation		
Residential		
4 Owner Occupied @ \$22,500	90,000.00	0
14 Tenants @ \$5,200	72,800.00	0
Demolition		
7 Buildings @ \$12,000	84,000.00	0
Site Improvements		
Street and sidewalk improvements*	100,000.00	300,000.00
Dudley Street Recreation Center Expansion	<u>66,240.00</u>	<u>                    </u>
Total	\$1,165,590.00	\$385,555.88

\*Street and sidewalk improvements to be provided by the Department of Public Works. Street trees to be provided by the Parks Department.