

RESOLUTION OF THE CITY COUNCIL

No. 650

Approved November 8, 1995

WHEREAS, Merit Oil of Rhode Island, Inc. (hereinafter "Merit Oil") is the owner of a gasoline station located at 1215 North Main Street, Providence, Rhode Island; and

WHEREAS, Merit Oil seeks to replace certain underground storage tanks, enlarge storage capacity to 40,600 gallons, to erect a sales kiosk and undertake other construction in order to modernize the station,

NOW, THEREFORE, BE IT RESOLVED That Merit Oil is authorized to remove, replace and enlarge the underground gasoline storage to 40,600 gallons in six (6) storage tanks and to undertake the construction the sales kiosk and the improvements listed in its application of 28 June 1995, provided, however that:

1. All construction is undertaken consistent with the plans presented to the City Council Committee on Public Works and the Department of Inspection and Standards as those plans may be modified by the Department of Inspection and Standards.

2. Merit Oil shall perform any remediation of environmental damage at or originating at the situs of the station which is necessary so as to satisfy the legal requirements of any governmental body or agency.

3. In the event that the construction requires obstruction or displacement of the public way, Merit Oil shall obtain the necessary permits, execute an indemnification and hold-harmless agreement satisfactory to the City Solicitor and shall provide insurance (or, if self-insured, a certificate of financial responsibility) in an amount of not less than one hundred thousand dollars (\$100,000.00) listing the City of Providence, its agents, officers, servants, employees, and assigns as additional named insureds. Such policy shall be acceptable to the City Solicitor.

4. Merit Oil does agree that by undertaking any construction pursuant to this Resolution, all statements or representation(s) are made a part of this Resolution and any authorization granted hereunder are specifically conditioned upon compliance with said statements and representation(s).

THE COMMITTEE ON
PUBLIC WORKS

Recommends

Barbara A. Davis
Clerk
Aug 8, 1995 J.M.A.

THE COMMITTEE ON
PUBLIC WORKS

Approves Passage of
The Within Resolution

Barbara A. Davis
Chairman
10/12/95- Clerk

5. Merit Oil shall install not less than two hundred sixty (260) feet of four (4) foot high chain link fence. Said fence shall be slatted.

6. Merit Oil shall install nine (9) pyramidal arborvitae in the grass area surrounded by the chain link fence installed pursuant to Paragraph 5.

7. Merit Oil shall remove all weeds from the station area and shall resurface with not less than asphalt finish course.

8. All work required under Paragraphs 5, 6 and 7 shall be done in a good and workmanlike manner, shall be commenced and completed forthwith and Merit Oil shall obtain any necessary permits.

9. Nothing herein shall be construed to contradict or limit or modify the Providence Zoning Board Resolution #7842 dated 8 June 1995.

10. Such other conditions as His Honor, the Mayor; and the City Solicitor may impose thereon.

IN CITY COUNCIL
NOV 2 1995
READ AND PASSED
Encllyn V. Fargnoli
ACTING PRES.
Michael R. Clement
CLERK

APPROVED
NOV 8 1995
Vincent A. Cianci
MAYOR



ZONING BOARD OF REVIEW

June 8, 1995

RESOLUTION NO. 7842

Merit Oil of Rhode Island, Inc.
Gary Jerome
1148 Main Street
Worcester, MA 01603

Dear Sir:

At a meeting of the Zoning Board of Review held on Tuesday, April 25, 1995, the following Resolution was adopted:

WHEREAS, Merit Oil of Rhode Island, Inc., owner of Lots 226, 340, 343 & 344 on Assessor's Plat 91 (1215 North Main Street), in a Commercial C-4 Zone; filed an application for permission to be relieved from Section 409.2(A) in the proposed alteration of the existing gasoline service station. Applicant seeks relief from regulations governing minimum setback from street line concerning a new sales kiosk. The lots in question contain approximately 31,038 sq. ft. of land area; and

WHEREAS, the members of the Zoning Board of Review made an inspection of the above-described premises and also of the surrounding properties in the neighborhood; and

WHEREAS, on Tuesday, April 25, 1995, a public hearing was held on this application by the Zoning Board of Review after public notice as set forth by the Zoning Ordinance.

NOW, THEREFORE, after consideration of the application and testimony of the applicant and after having carefully weighed the same, the Zoning Board of Review grants the following:

RESOLVED: That the Zoning Board of Review does hereby grant a variance of Section 409.2(A) under Section 902 of the Zoning Ordinance substantially in accordance with the plans and plot plans filed with said Board, with the following conditions:

- 1.) The Seventh Street entrance shall be closed to vehicular traffic by providing stanchions with a chain across.
- 2.) Lots 340 and 344 shall be appropriately landscaped.
- 3.) The sloping portion of Lots 226 and 343 shall be appropriately landscaped.
- 4.) All lighting shall be directed away from residential properties.

A copy of said plans are hereby made a part of this Resolution and must be filed with the Department of Inspection and Standards by the owner or its representative.

By Order of the Zoning Board of Review.

Sandra L. Carlson

SANDRA L. CARLSON, CHAIRMAN

SLC:bat

ATTENTION: SECTION 906 UNDER THE ZONING ORDINANCE REQUIRES THAT ANY VARIANCE OR SPECIAL USE PERMIT GRANTED BY THE BOARD SHALL EXPIRE SIX MONTHS AFTER THE DATE OF THE FILING OF THE RESOLUTION IN THE OFFICE OF THE BOARD UNLESS THE APPLICANT SHALL, WITHIN THE SIX MONTHS, OBTAIN A LEGAL BUILDING PERMIT AND PROCEED WITH CONSTRUCTION; OR OBTAIN A LEGAL BUILDING PERMIT AND A CERTIFICATE OF OCCUPANCY WHEN NO CONSTRUCTION IS REQUIRED.

MEMBERS VOTING: CARLSON, CATAURO, SCORPIO, STROTHER & LENNON

NOTE: THE ORIGINAL RESOLUTION MUST BE RECORDED IN THE LAND EVIDENCE RECORDS OF THE CITY OF PROVIDENCE BEFORE THE ISSUANCE OF A BUILDING PERMIT.

**APPLICATION FOR
FUEL DISPENSING PERMIT**

Permit No. _____ By _____ Date JUNE 28, 1995

To the Director of the Department of Inspection & Standards:

1. _____ Building District 3rd Ward
2. Street Location 1215 NORTH MAIN ST PROVIDENCE R.I. 02906
3. Plat 91 Lot 226,340,343,344
4. Owner MERIT OIL OF R.I. INC 551 W. LANCASTER AVE HAVERFORD PA 19041
5. New _____ Existing GASOLINE STATION
6. Number of Buildings 2
7. Number of Curb Cuts EXISTING TOTAL - 7 Width SAME AS SHOWN PLANS
8. Drawings Accompanying Application YES
9. Number of Pumps Now on Premises 5 (FIVE)
10. Number of Additional Pumps Remove 5 (FIVE) Install 6 (SIX) Total ADD ONE (1)
11. Total Pumps on Lot SIX (6)
12. Capacity of Tanks (existing) 20,550 GALLONS
13. Capacity of Additional Tanks 20,050 GALLONS
14. Total Capacity on Lot 40,600 GALLONS
15. Is Fuel or Oil to Be Sold? YES
16. Zoning District C-4
17. Estimated Cost \$ 300,000

Approved: _____
Commissioner of Public Safety

Approved: _____
Traffic Engineer

Approved: _____
Director of Public Works

Approved: _____
Director of the Department of
Inspection and Standards

REMARKS ReHAB Existing Gasoline Station

Remove and Replace underground storage tanks,
pumps and pump islands, sales kiosk
and storage building

Merit Oil of R.I. Inc
Owner's Name

551 West Lancaster Ave., Haverford Pa. 19041
Address

Larry R. Jerome
Agent's Name

Merit Oil Corp, 1148 Main St, Worcester Ma
Agent's Address 01603

508-197-0327
Telephone Number

RE: # 22-75

Refer to zoning Dcl. Res. # 78 42/95

Statutory Notes

TO

三

RECEIVED FOR RECORD 7

3

2

Book 10 Page 7 of 10

一

...and "Ophelia" from the novel "The Great Gatsby"...

इति

Inventory of Deaths

Journal of Books

ար
նա
Հո
աշ
թա
աւ
Թդ
ըն

834

(-p

E. J. BREEMAN COMPANY. Low bid: \$10,000 and Private sale.

Providence, Rhode Island, November 18, 1892

East Providence and Central Falls

For a list of all his secondary needs

FOIA b1 b7C - b7D

N. Mann

TIREM R. I. INC.--THE STANDISH BARNES COMPANY

May 22, 1961.--Temporary Closing at Title Guarantee Co. of R. I. (Present were: Walter Adler, Samuel Bass, Arthur Levinson, Edward Hindle, and Rodman, broker.)

1. Check of \$90,000.00 to Samuel Bass, endorsed by Bass to Title Guarantee Co. of R. I. (W. A. to hold this check pending Escrow Agreement to be signed by Title Co. and delivered to W. A. and Hindle.)
2. Deed Standish Barnes Company to Tirem R. I. Inc., properly executed (to be held by Hindle).
3. Escrow Agreement (revised) dictated by W. A. and Hindle to Title Co. stenographer, to be written by Title Co. and delivered to W. A. and Hindle, and deed and check to be released thereafter to Title Co.
4. W. A. put check for \$90,000.00 in his vault.
5. Letter from Hindle (Standish Barnes Company) as to removal of signs on premises and tenancies in three-decker house, rents, etc. to be written by Hindle.
6. Closing adjustments as of date of obtaining possession, etc.

W. A.

State of Rhode Island, Etc.
County of Providence

In Providence, R. I. on the 22 day of May, 1961,
before me personally appeared Maudeline B. Standish

to me known and known by me to be the party.....executing the foregoing instrument, and
Standish-Barnes Company she acknowledged said instrument, by her executed to be her free act and deed,
and the free act and deed of said
The Standish-Barnes Company.

Filed for Record at 11 o'clock 7 min. A M
3 1961 Edward M. Flanagan Recorder of Deeds

Notary Public

THE STANDISH-BARNES COMPANY, a corporation established under the laws of the State of Rhode Island,

for consideration paid, grant to TIREM R. I., INC., a corporation established under the laws of the State of Rhode Island,

with WARRANTY COVENANTS
(DESCRIPTION, AND INCUMBRANCES, IF ANY)

That parcel of land with all buildings and improvements thereon, situated on the southeasterly side of North Main Street and extending from Sixth Street northeasterly to Seventh Street in the City of Providence and State of Rhode Island, bounded and described as follows:

Beginning at the point of intersection of the southeasterly line of North Main Street with the southwesterly line of Seventh Street at the northerly corner of said parcel; thence southeasterly bounding northeasterly on Seventh Street one hundred fifty four and 94/100 (154.94) feet, more or less, to land now or lately of Olaf Nelson et al.; thence southwesterly bounding southeasterly on said Nelson land in part and in part on land now or lately of George A. Kern and wife two hundred (200) feet, more or less, to Sixth Street; thence northwesterly bounding southwesterly on Sixth Street one hundred fifty five and 44/100 (155.44) feet, more or less, to North Main Street; thence northeasterly bounding northwesterly on North Main Street two hundred (200) feet, more or less, to Seventh Street at the point of beginning.

Subject to taxes assessed as of December 31, 1960.



husband of the grantor
wife

release to said grantee --- all --- right of --- and all other interest in the aforescribed premises
by its proper officer thereunto duly authorized
this 19th day of May, 1961

THE STANDISH-BARNES COMPANY

By *Margaret B. Standish*

State of Rhode Island, Etc.
County of Providence

In Providence, on the 19th day of May, 1961,
before me personally appeared *Margaret B. Standish*

to me known and known by me to be the party executing the foregoing instrument, and in behalf of
Standish-Barnes Company she acknowledged said instrument, by her executed to be her free act and deed
and the free act and deed of said
The Standish-Barnes Company.

Filed for Record at 11 o'clock 7 min A M
3 1961 *Edward M. Flanagan* Recorder of Deeds

Notary Public

Merit Oil Gasoline Station
1215 North Main Street
Providence, RI 02904-1825

Abutters List

Platt 91

LOT

OWNER

ADDRESS

343,344,340,226	Tirem RI, Inc. (Merit Oil of RI Inc.)	551 West Lancaster Ave Haverford, PA 19041
345	Kern, Dorothy N. & George W.	20 Sixth Street Providence, RI 02906
346	Abrams, Rose & Lois	24 Sixth Street Providence, RI 02906
347	Platkin, Jack & Richard J.	30 Sixth Street Providence, RI 02906
348	Ryan, Mildred E.	34 Sixth Street Providence, RI 02906
349	Nosal, Andrew & Maureen	89 Wood Street Providence, RI 02909
339	Gauslin, Charity	68 Glenbridge Avenue Providence, RI 02909
338	Stesenson, Frederick R. Jr & Frederick R.	23 Baldwin Road Portsmouth, RI 02871
337	Massouda, Eugenie A. and Ovadisi, Linda M.	29 Seventh Street Providence, RI 02906
336	Massouda, Eugenie A. & Kamal	29 Seventh Street Providence, RI 02906
335	Serafin, Robyn A.	31-7th Street Providence, RI 02906
406	Oneil, Alexander J.	12 Seventh Street Providence, RI 02906
402, 403	Jzyk, John E. & Linda A.	306 Thayer Street Providence, RI 02906
199, 200	McGowan, Joseph & Joyce	20 Seventh Street Providence, RI 02906
641	Seymour, Paul M.	30 Seventh Street Providence, RI 02906
401,196,197	Natale, Lawrence A. Co. Inc.	50 Nashua Street Providence, RI 02904
404	DeSimone, Robert A. & Sharon D.	15 Eight Street Providence, RI 02906
405	Daugisiewicz, Philip & Sandra Marcel Et Al	372 Washington Street Melrose, MA 02176
400,407, 408, 198	C.M.A. Realty Company	40 Carrier Street East Providence, RI 02916

Platt 75
LOT

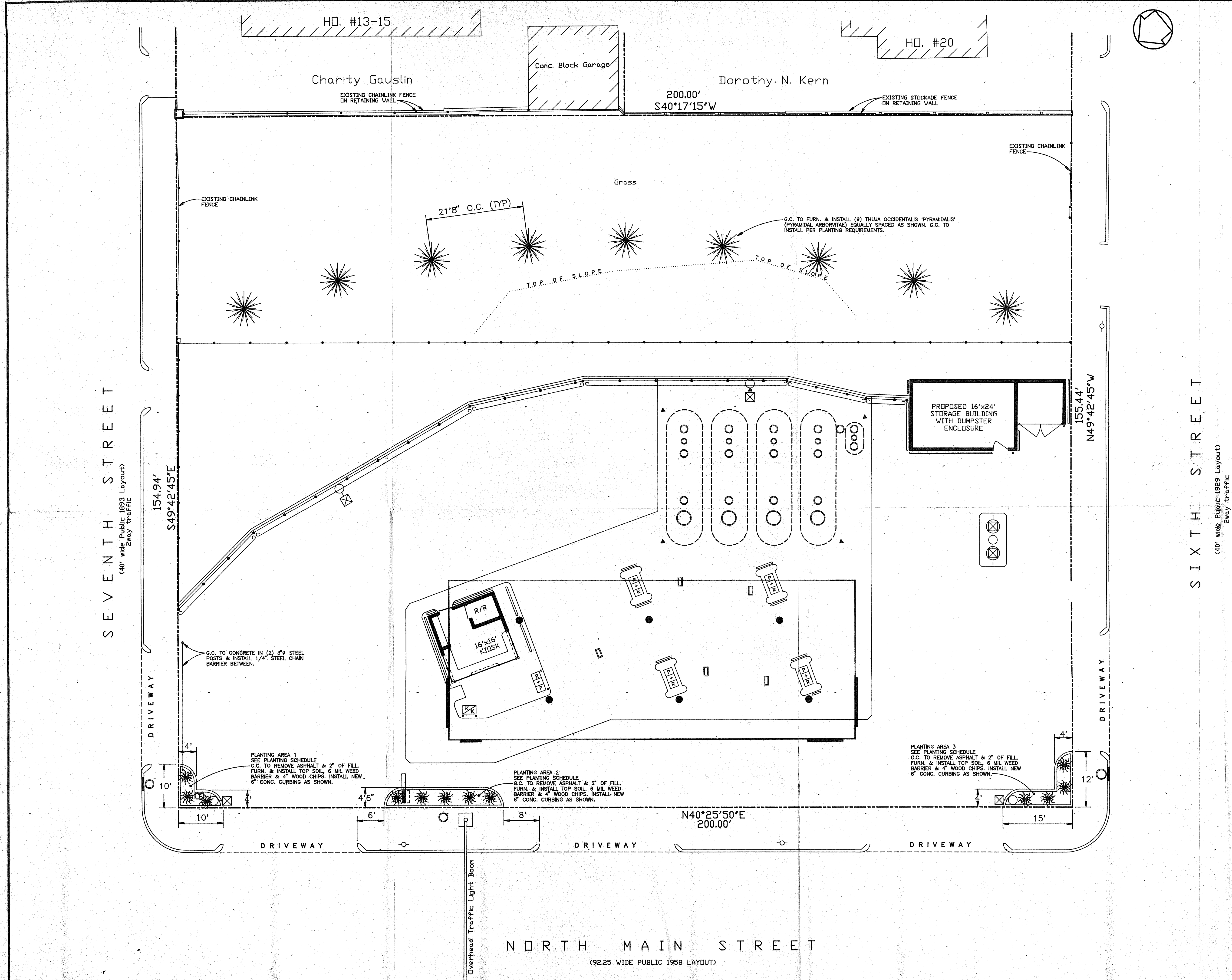
OWNER

ADDRESS

215, 194	Austin Realty Company	P.O. Box 9365 Providence, RI 02940
170	Tetreault, Earl & Elenor	100 Hollard Ave. Riverside, RI 02915
169	1200 North Main Associate	101 Cambridge Street Burlington, MA 01803
201	Lewinstein Stephen R.	101 Cambridge Street Burlington, MA 01803
203	St. Raymonds Church Corp.	1228 North Main St. Providence, RI 02904
204	Botvin Realty Company	1246 North Main St. Providence, RI 02904

Platt 73

25	Shawmut Realty Company	3760 Quaker Lane North Kingston, RI 02852
21,22,23	Palombo, Steven J.	4 Hughes Drive Greenville, RI 02828
26	Fernandes, Herculas S. & Arminda	14 Fifth Street Providence, RI 02906
27	Woods, MaryAnn, Sheridan Et. Al	18-20 Fifth Street Providence, RI 02906
28	Jacober, James M. & Linda M.	46 Verdant Lane Warwick, RI 02886
29	Litchman, Allen T. & M. Therese	30 Fifth Street Providence, RI 02906
30	Sherwood, Hazel M.	34 Fifth Street Providence, RI 02906
21, 20	Vallee, Jane	21 Sixth Street Providence, RI 02906
297	Bennett, Michael H.	242 Weathervan Road So. Kingston, RI 02879
46	Holtzman, Barbara L.	25 Sixth Street Providence, RI 02906
19	Snell, Miriam	29 Sixth Street Providence, RI 02906
200	Roy, Paul R. & Sara L.	33 Sixth Street Providence, RI 02906
17	Hurley, Stephen A. & Nancy P.	37 Sixth Street Providence, RI 02906



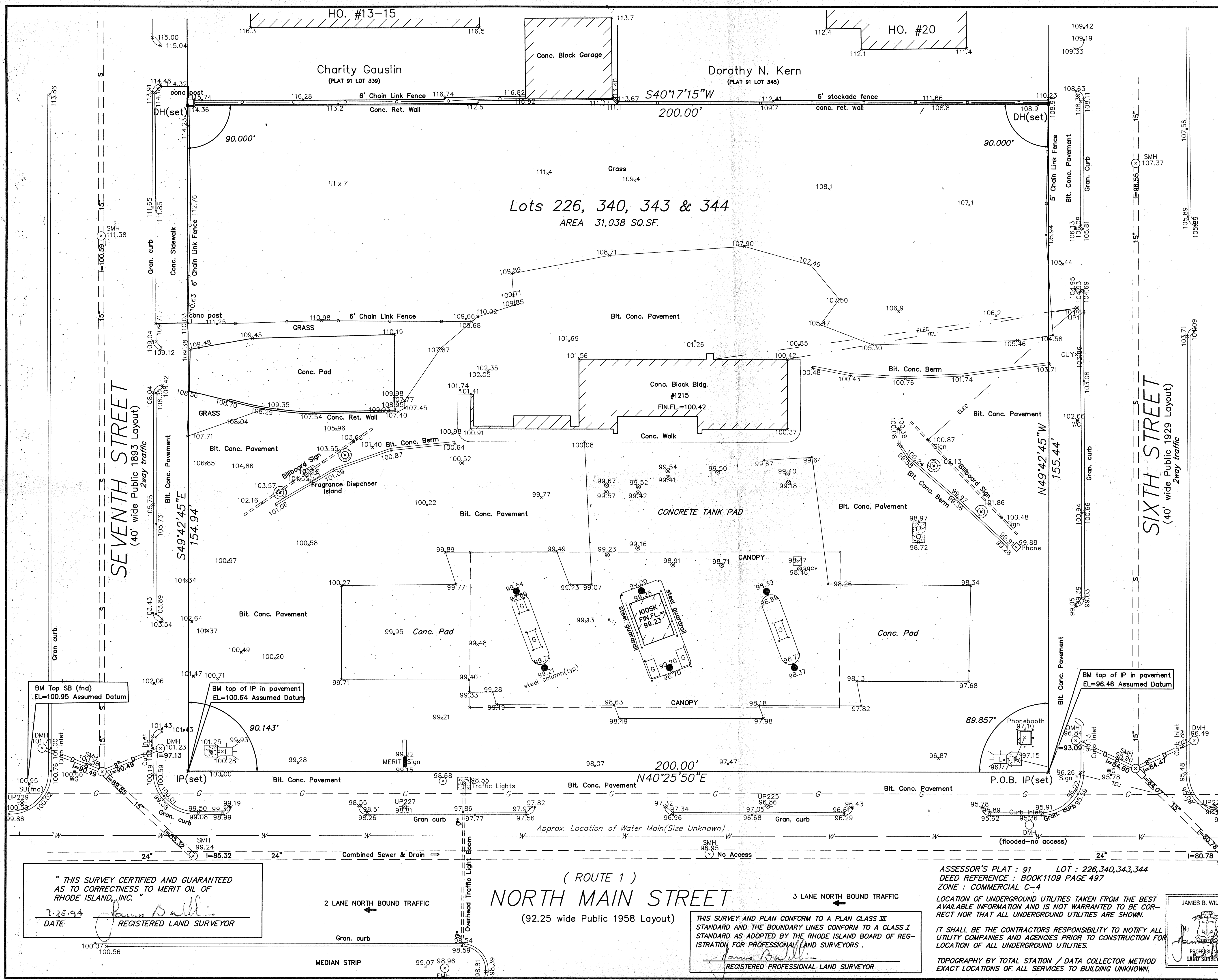
PLANTING SCHEDULE		
LOCATION	NAME	NO. OF SHRUBS
PLANTING AREA 1	TAXUS BACCATA 'REPANDENS' (SPREADING ENGLISH YEW)	3
PLANTING AREA 2	TAXUS BACCATA 'REPANDENS' (SPREADING ENGLISH YEW)	5
PLANTING AREA 3	TAXUS BACCATA 'REPANDENS' (SPREADING ENGLISH YEW)	4

(18'-24" HT)

REV. NO.	DATE	BY	DESCRIPTION
DRAWN BY: AL	DATE: 3/27/94		1215 N. MAIN STREET PROVIDENCE, R.I.
CHECKED BY:	DATE:		LANDSCAPING PLAN
DRAWING NUMBER: 94-714B			SCALE: 1"=10'-0" (UNLESS NOTED)

The project to which this plan is a part is non-lienable by any party, and the general contractor has within its contract expressly waived all such rights on behalf of itself and any subcontractors and/or materialmen. By submittal of a bid or provision of any materials or services, all subcontractors and materialmen voluntarily affirm the general contractors waiver and expressly waive any and all of their lien rights to the full extent available by law.

[illegible]



APPROVED PLANS
ZONING BOARD OF REVIEW
DATE 10-8-95
PAGE 1 OF 16

LEGEND	
UP# 59	UTILITY POLE
76 x 81	EXISTING ELEVATION
WG	WATER GATE
G	GAS PUMP
○	ACCESS COVER
—	OVERHEAD WIRE
○ EMH	ELECTRIC MANHOLE
— S —	SEWER MANHOLE
— D —	DRAIN MANHOLE
⊠	LIGHT STANDARD
⊙	VACUUM ISLAND

DESCRIPTION

A certain parcel of land situated at 1215 North Main Street, Providence, Rhode Island is bounded and described as follows:

Beginning at an iron pipe at the south-westerly corner of the herein described parcel at the intersection of the south-easterly sideline of North Main Street and the northeasterly sideline of Sixth Street.

Thence northeasterly by said North Main Street 200.00 feet to an iron pipe at the intersection of Seventh Street and North Main Street.

Thence southeasterly by said Seventh Street 154.94 feet to a drill hole.

Thence southwesterly by land of Charity Gauslin and land of Dorothy N. Kern 200.00 feet to a drill hole.

Thence northwesterly by Sixth Street 155.44 feet to the point of beginning. Containing 31,038 square feet.

PLAN OF LAND
IN
PROVIDENCE R.I.
PREPARED FOR
MERIT OIL OF R.I., INC
JUNE 20, 1994
FREEMAN ENGINEERING CO.
A DIVISION OF
HAYWARD-BOYNTON & WILLIAMS, INC.
LAND SURVEYORS CIVIL ENGINEERS
178 NORTH MAIN ST. ATTLEBORO, MASS.

" THIS SURVEY CERTIFIED AND GUARANTEED AS TO CORRECTNESS TO MERIT OIL OF RHODE ISLAND, INC. "

7-28-94
DATE
REGISTERED LAND SURVEYOR

(ROUTE 1)
NORTH MAIN STREET
(92.25 wide Public 1958 Layout)

THIS SURVEY AND PLAN CONFORM TO A PLAN CLASS III STANDARD AND THE BOUNDARY LINES CONFORM TO A CLASS I STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS .

James B. Williams
REGISTERED PROFESSIONAL LAND SURVEYOR

ASSESSOR'S PLAT : 91 LOT : 226,340,343,344
DEED REFERENCE : BOOK 1109 PAGE 497
ZONE : COMMERCIAL C-4

LOCATION OF UNDERGROUND UTILITIES TAKEN FROM THE BEST AVAILABLE INFORMATION AND IS NOT WARRANTED TO BE CORRECT NOR THAT ALL UNDERGROUND UTILITIES ARE SHOWN.

IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES AND AGENCIES PRIOR TO CONSTRUCTION FOR LOCATION OF ALL UNDERGROUND UTILITIES.

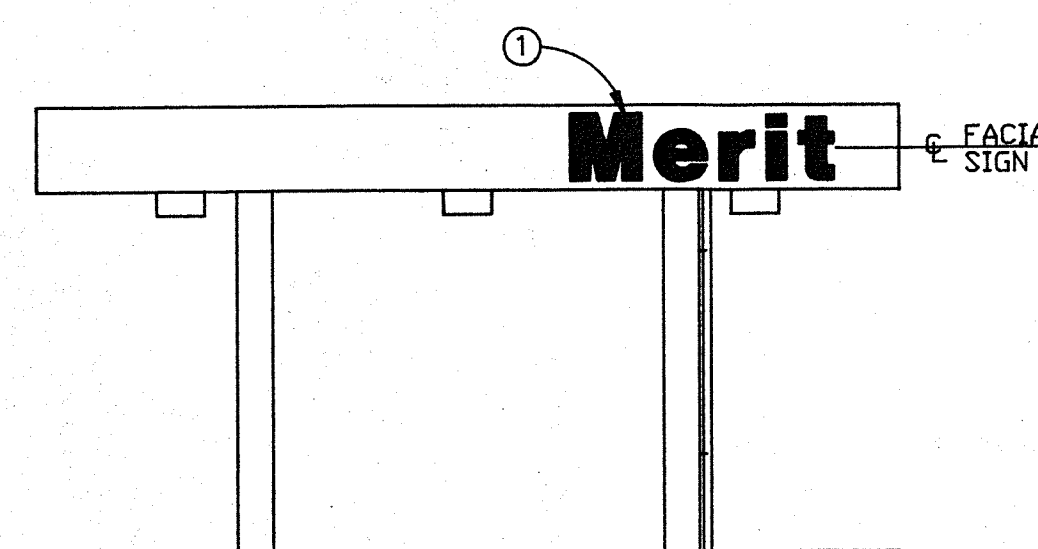
TOPOGRAPHY BY TOTAL STATION / DATA COLLECTOR METHOD EXACT LOCATIONS OF ALL SERVICES TO BUILDING UNKNOWN.

JAMES B. WILLIAMS
No. 1639
PROFESSIONAL LAND SURVEYOR

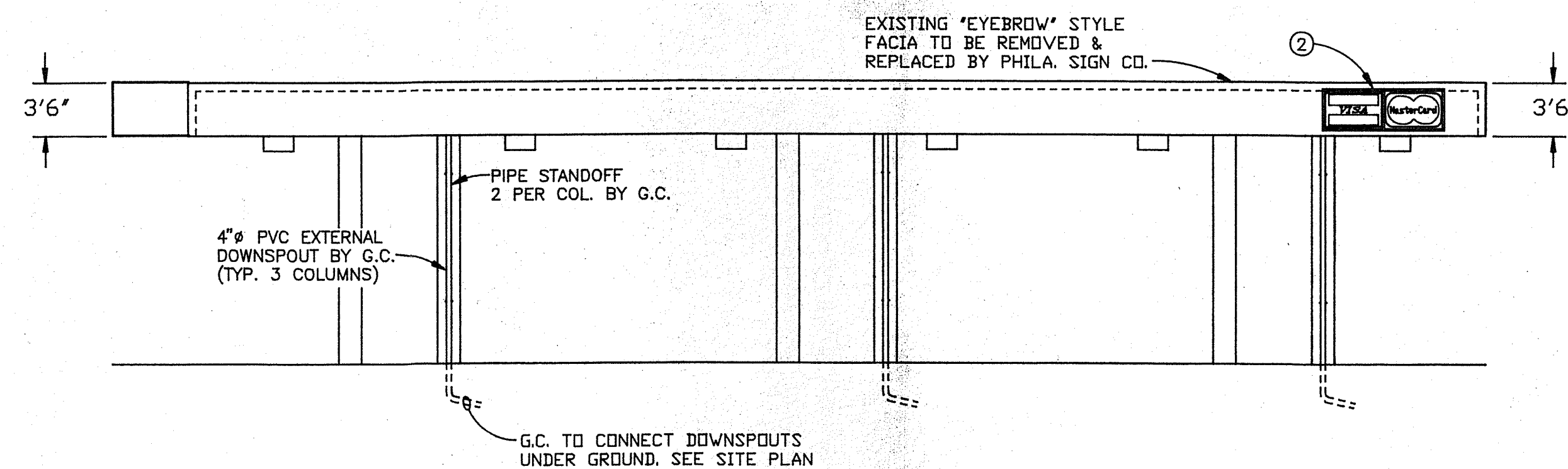
SCALE: 1"=10' FEET 0 5 10 20 JUNE 20, 1994
METERS 0 2 4 6

ZONING

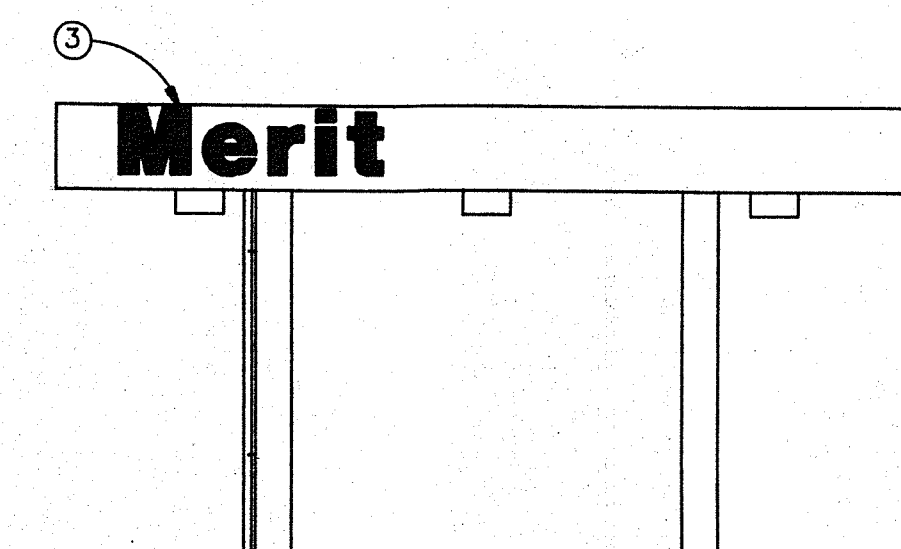
1215 N. MAIN ST.



LEFT SIDE ELEVATION



FRONT ELEVATION



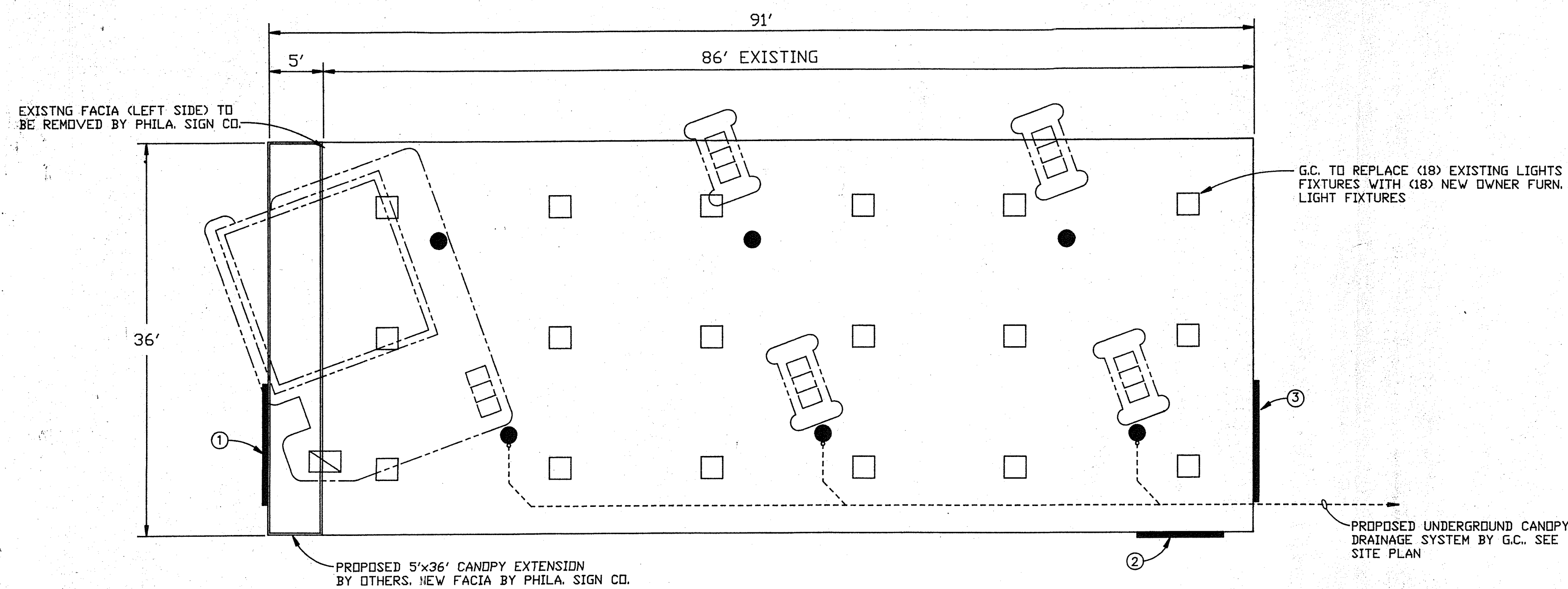
RIGHT SIDE ELEVATION

EXISTING SIGNS TO BE REMOVED (NOT SHOWN)

LOCATION	DESCRIPTION	SQ. FT.
FRONT	MERIT SERV & SAVE	77.00
FRONT	LOGO	12.38
TOTAL SQ. FT. OF SIGN BEING REMOVED		89.38

PROPOSED SIGNS TO BE INSTALLED

NO.	LOCATION	DESCRIPTION	SIZE	SQ. FT.
①	LEFT SIDE	MERIT	2.75x11.0	30.25
②	FRONT	VISA/MASTERCARD	2.75x8.0	22.00
③	RIGHT SIDE	MERIT	2.75x11.0	30.25
TOTAL SQ. FT. OF SIGNS TO BE INSTALLED				82.50



LIGHTING PLAN

SCOPE OF WORK TO EXISTING CANOPY

- G.C. TO REMOVE (18) EXISTING LIGHT FIXTURES & INSTALL (18) NEW OWNER FURNISHED LIGHT FIXTURES.
- G.C. TO POWER WASH CEILING DECK PRIOR TO APPLYING ONE COAT OF B.I.N. WHITE PIGMENTED SHELLAC, PRIMER SEALER, AS MFG. BY WILLIAM & ZINSSER & CO., INC. (AVAILABLE THRU SHERWIN WILLIAMS)
- G.C. TO COMPLETELY REMOVE ALL EXISTING PAINT FROM CANOPY COLUMNS DOWN TO BARE METAL PRIOR TO APPLYING ONE COAT OF METAL PRIMER.
- G.C. TO PAINT CEILING DECK & COLUMNS TWO COATS WHITE GU-2509 POLYURETHANE ENAMEL AS MFG. BY INSL-X PROD. CORP., YONKERS, N.Y. (915) 969-8000
- (PRIOR TO ANY WORK ON COLUMNS, G.C. TO REMOVE ALL EXISTING BRACKETS & MISC. HARDWARE. PATCH ALL HOLES)
- REHANG ALL BRACKETS & MISC. HARDWARE AFTER WORK IS COMPLETE.
- PROPOSED SIGN CHANGE & FACIA REPLACEMENT BY PHILA. SIGN CO.
- ENTIRE CANOPY FACIA TO BE PAINTED TWO COATS GLOSS BLACK ENAMEL BY PHILA. SIGN CO.
- ALL DEBRIS TO BE CLEANED & REMOVED FROM ROOF BY OTHERS.
- CANOPY ROOF COATING BY OTHERS.
- G.C. TO FURN. & INSTALL NEW 4" SCH. #40 PVC EXTERNAL DOWNSPOUTS.
- NEW GUTTER & LEADERS BY PHILA. SIGN CO.
- G.C. TO CLEAN INTERIOR OF CANOPY. REMOVE & DISPOSE OF ALL TRASH, OLD LAMPS, etc...
- G.C. RESPONSIBLE FOR NEW CONDUIT & ADDITIONAL CIRCUITS IF REQUIRED FOR NEW SIGNS.

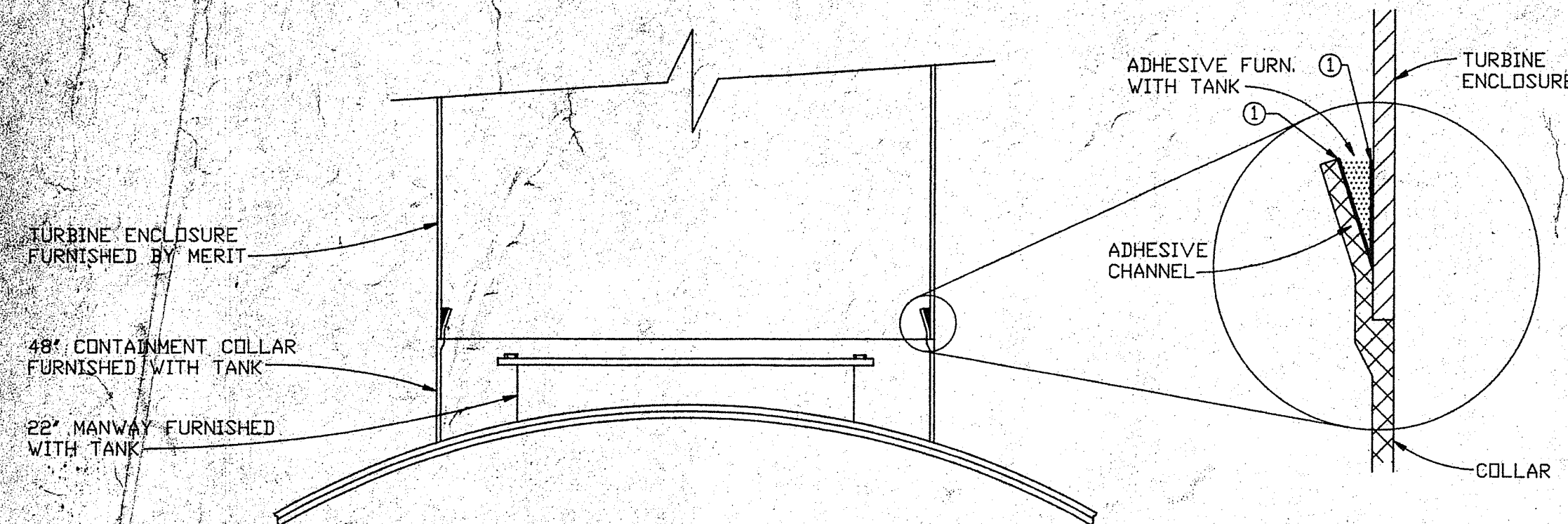
APPROVED PLANS
ZONING BOARD OF REVIEW
DATE 10-8-95
PAGE 3 OF 16

REV. NO.	DATE	BY	DESCRIPTION
DRAWN BY: <u>ALF</u>	DATE: <u>10/24/94</u>		
CHECKED BY: _____	DATE: _____		
			1215 N. MAIN STREET PROVIDENCE, R.I.
			CANOPY SIGN CHANGES & GENERAL SCOPE OF WORK
			DRAWING NUMBER: 94-714A
			SCALE: 1"=10'-0" (UNLESS NOTED)

The project to which this plan is a part is non-liable by any party, and the general contractor has within its contract expressly waived all such rights on behalf of itself and any subcontractors and/or materialmen. By submittal of a bid or provision of any materials or services, all subcontractors and materialmen voluntarily affirm the general contractors waiver and expressly waive any and all of their lien rights to the full extent available by law.

Age Group	Percentage of Respondents
18-29	65%
30-49	75%
50-69	80%
70+	85%

① G.C. TO SAND THESE SURFACES FIRST, THEN PLACE TURBINE ENCLOSURE ONTO COLLAR AND POUR ADHESIVE INTO CHANNEL.



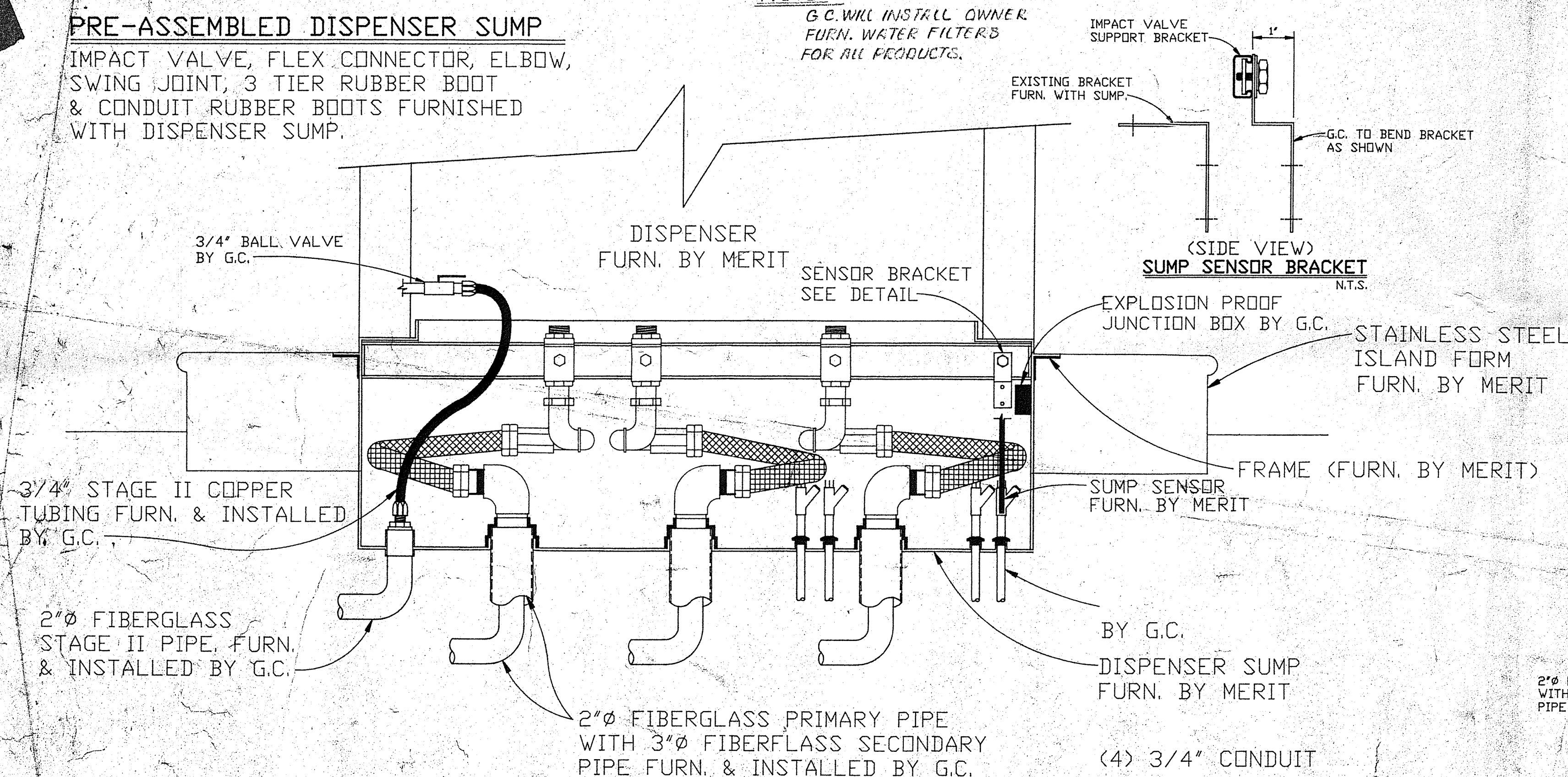
SECONDARY CONTAINMENT COLLAR & TURBINE ENCLOSURE INSTALLATION

PRE-ASSEMBLED DISPENSER SUMP

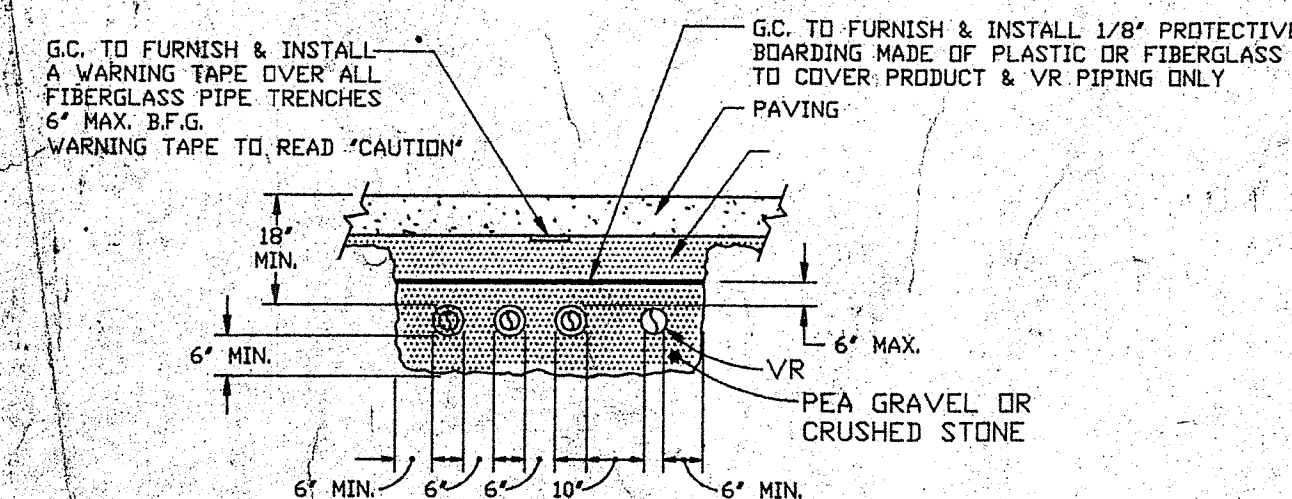
IMPACT VALVE, FLEX CONNECTOR, ELBOW, SWING JOINT, 3 TIER RUBBER BOOT & CONDUIT RUBBER BOOTS FURNISHED WITH DISPENSER SUMP.

NOTE:

G.C. WILL INSTALL OWNER FURN. WATER FILTERS FOR ALL PRODUCTS.

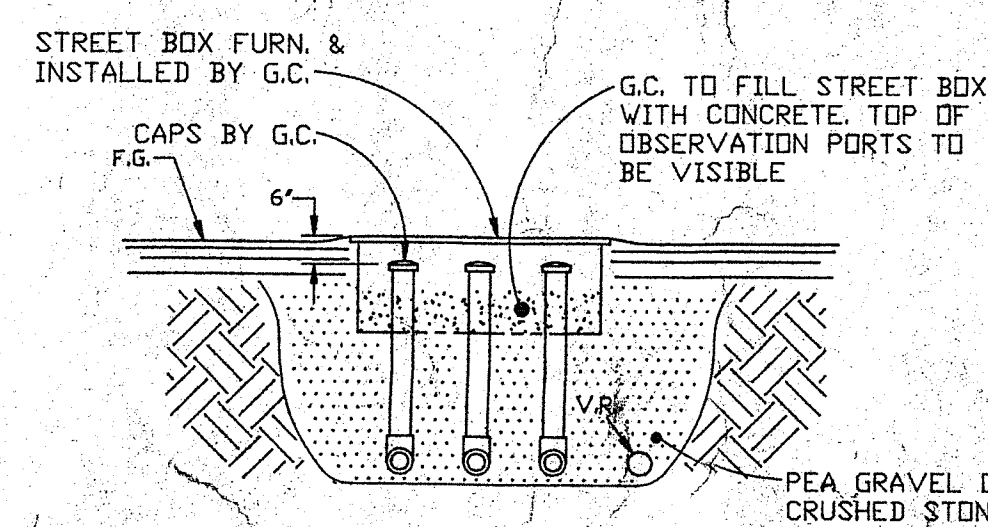


SECTION THRU DISPENSER SUMP

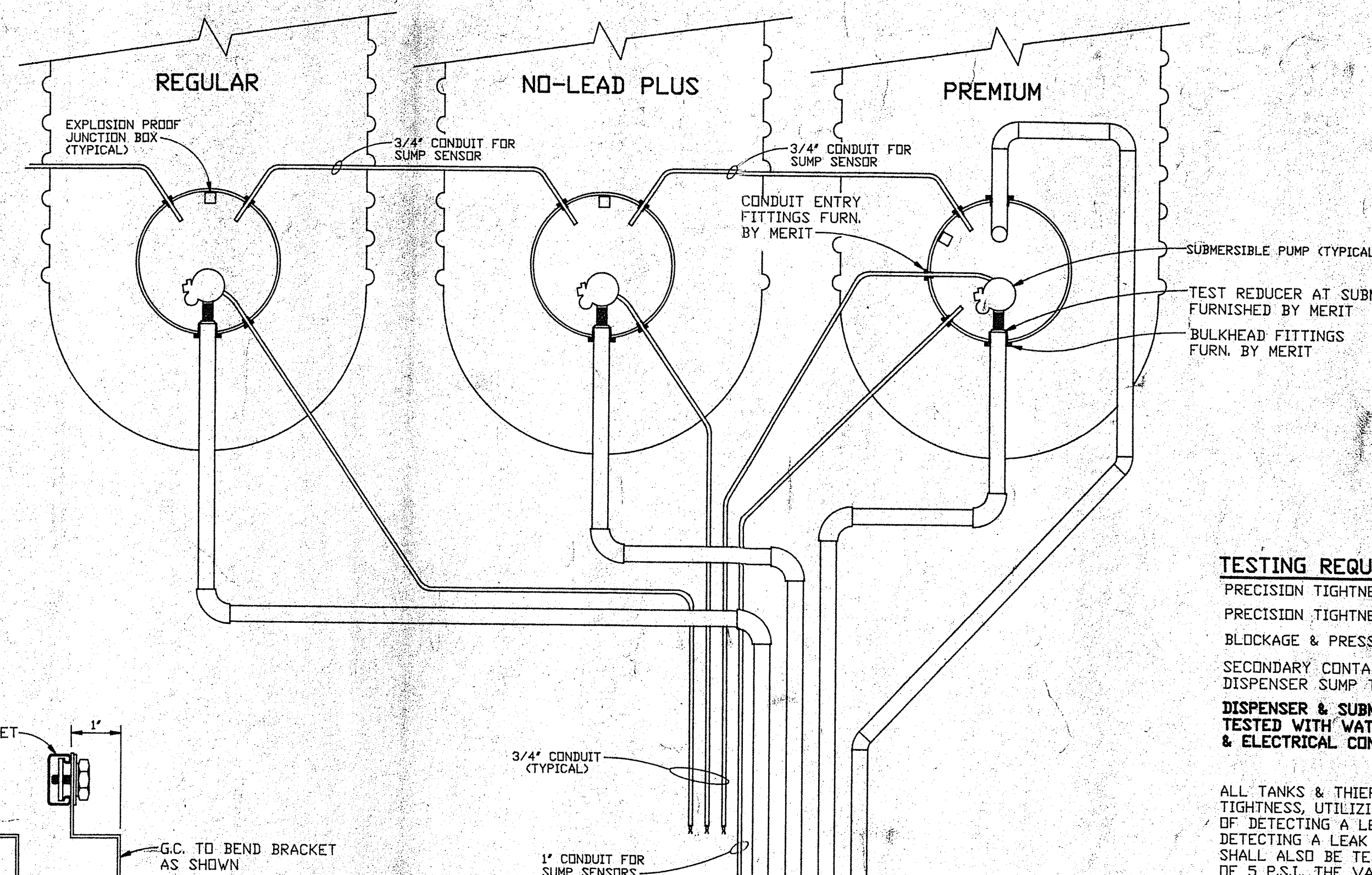


TYPICAL FIBERGLASS PRODUCT & VR PIPING TRENCH

CHECK PLOT PLAN FOR NO. OF PRODUCTS TO DETERMINE WIDTH OF TRENCH



DBL WALL FIBERGLASS OBSERVATION PORTS VIEW A-A



TESTING REQUIREMENTS BY GENERAL CONTRACTOR

PRECISION TIGHTNESS TEST ALL UNDERGROUND STORAGE TANKS.
PRECISION TIGHTNESS TEST ALL PRODUCT PIPING.
BLOCKAGE & PRESSURE DROP TEST FOR STAGE II VAPOR RECOVERY PIPING.
SECONDARY CONTAINMENT PIPING SHALL TEST TIGHT FROM THE DISPENSER SUMP TO THE SUBMERSIBLE PUMP SUMP, (5 P.S.I. MAX.)
DISPENSER & SUBMERSIBLE SUMPS ARE TO BE HYDROSTATICALLY TESTED WITH WATER AFTER COMPLETE ASSEMBLY OF PIPING & ELECTRICAL CONDUIT.

ALL TANKS & THEIR ASSOCIATED PIPING SYSTEM SHALL BE PRECISION TESTED FOR TIGHTNESS, UTILIZING A TEST METHOD WHICH IS CERTIFIED TO HAVE A 95% PROBABILITY OF DETECTING A LEAK RATE OF 0.1 GALLONS PER HOUR AND A 5% PROBABILITY OF DETECTING A LEAK WHEN IN FACT THERE IS NO LEAK. THE SECONDARY PIPING SYSTEM SHALL ALSO BE TESTED FOR TIGHTNESS VIA AIR TEST AND SOAP WITH A MAXIMUM OF 5 P.S.I. THE VAPOR RECOVERY PIPING SYSTEM SHALL BE TESTED FOR BLOCKAGE AND PRESSURE DROP. ALL TESTING MUST BE WITNESSED BY THE OWNER'S REPRESENTATIVE AND ANY OTHER GOVERNING OFFICIAL AS REQUIRED BY LOCAL AUTHORITIES. ALL TEST RESULTS SHALL BE CERTIFIED BY CONTRACTOR AND SUBMITTED TO THE OWNER.

ALL FIBERGLASS PIPING WILL BE SOAP TESTED PRIOR TO BACKFILLING AND/OR THE ASSEMBLY OF THE SECONDARY PIPING. SECONDARY PIPING AND FITTINGS WILL BE SOAP TESTED PRIOR TO BACKFILLING. ALL TESTING SHALL BE WITNESSED BY OWNER'S REPRESENTATIVE.

NOTES:

ALL PIPING IS TO HAVE A PITCH OF NOT LESS THAN 1/8" PER FOOT FROM THE DISPENSER TO THE TANK SUMP CONNECTION.

AFTER A SATISFACTORY AIR TEST HAS BEEN WITNESSED BY THE MERIT FIELD ENGINEER, CONTRACTOR WILL LOOSEN & SLIDE BACK THE TEST REDUCER FITTING IN THE TANK SUMP PROVIDING A CLEAR DRAINAGE PATH FOR SECONDARY CONTAINMENT PIPING TO THE TANK SUMP. **THE REDUCER FITTING IN THE DISPENSER SUMP WILL REMAIN SECURED IN PLACE.**

PIPING NOTES: DOUBLE WALL PIPING FURN. & INSTALLED BY G.C.

1. THE FOLLOWING FIBERGLASS PIPING SYSTEMS ARE APPROVED FOR INSTALLATION BY MERIT OIL CORPORATION. NO SUBSTITUTES ARE PERMITTED WITHOUT EXPRESS WRITTEN CONSENT BY MERIT OIL CORPORATION.

A. SMITH PRODUCTS: RED-THREAD II UL FIBERGLASS PIPE WITH RED THREAD II UL FITTINGS. ALL PIPE & FITTING JOINTS TO BE BONDED WITH DS-70 SERIES ADHESIVES. NOTE: UL IS TO BE SPECIFIED WITH EACH ORDER TO INSURE PROPER UL LABELING OF ALL MATERIAL.

B. AMERON DULLOY 3000/L -OR-
INSULATION CONTAINMENT FIBERGLASS PIPING: ALL FITTINGS TO BE 'BLACK' TYPE SERIES 3000/L 3302. ALL FIBERGLASS TO BE BONDED WITH A20 LT ADHESIVE & CURE WITH CHEM PAK OR ELECTRICAL HEAT BLANKET IF TEMP. IS BELOW 70° F. SUPPLEMENT FIBERGLASS BATT INSULATION IF TEMP. IS BELOW 50° F.

C. ALL PIPING, FITTINGS AND ADHESIVE ARE TO BE COMPATIBLE WITH 100% ALCOHOL.

G.C. RESPONSIBLE TO UTILIZE ONE OF THE FOLLOWING BACKFILL MATERIALS:

• PEA GRAVEL (rounded particles) WITH A MINIMUM DIAMETER OF 1/8" AND A MAXIMUM DIAMETER OF 3/4" WITH NO MORE THAN 3% PASSING THROUGH A NUMBER 8 SIEVE.

• CRUSHED STONE WITH ANGULAR PARTICLE SIZE OF 1/8" MINIMUM AND 1/2" MAXIMUM AND MEETING ASTM C-33, PARAGRAPH 9.1 REQUIREMENTS. THE STONE MUST BE WASHED AND FREE FLOWING WITH NO MORE THAN 3% PASSING THROUGH A NUMBER 8 SIEVE.

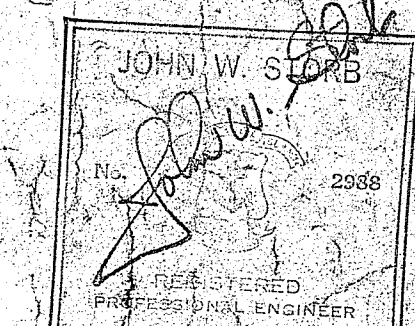
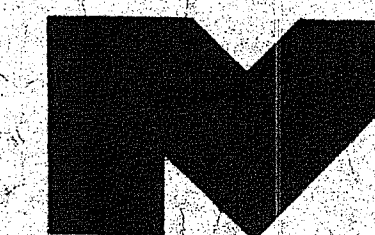
APPROVED PLANS
ZONING BOARD OF REVIEW
DATE 10-8-95
PAGE 5 OF 10

3	ALF	8/2/96	CHANGED ADHESIVE SPEC FOR AMERON PIPING TO B20
2	ALF	10/4/93	ADDITIONAL AMERON PIPING SPEC
1	ALF	2/3/93	ADDED BACKFILL PIPING & TESTING REQUIREMENTS

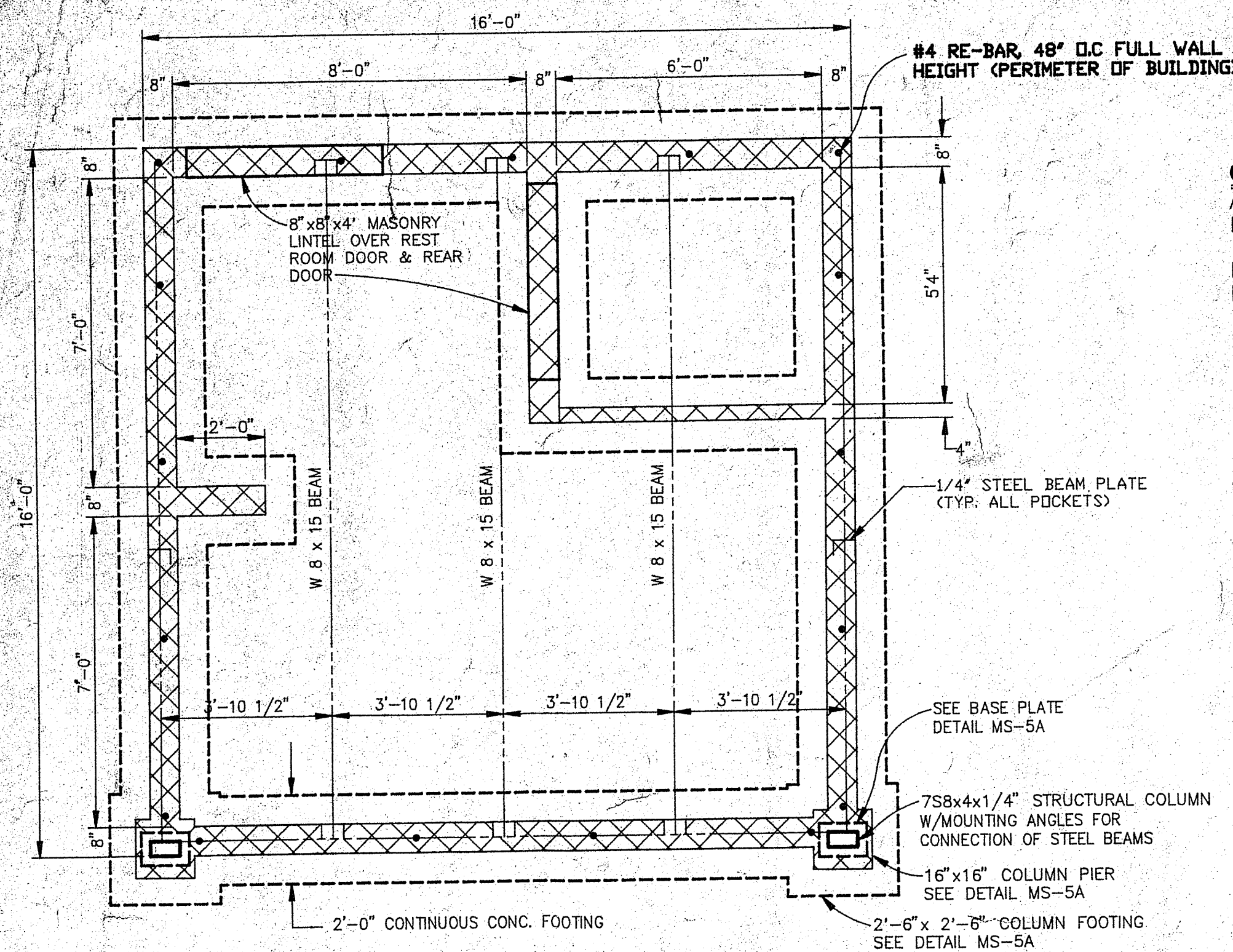
REV. NO. DATE BY: DESCRIPTION

DRAWN BY: DATE: CHECKED BY: DATE:

DOUBLE WALL FIBERGLASS SECONDARY CONTAINMENT



DRAWING NUMBER MS-2
SCALE: 1"=10'-0" (UNLESS NOTED)



FOUNDATION PLAN
SCALE 3/8" = 1'-0"

GENERAL NOTES:

ALL BUMPER PROTECTION AROUND KIOSK WILL BE FURNISHED BY MERIT INSTALLATION AND PAINTING (2) COATS GLOSS BLACK BY GENERAL CONTRACTOR.

HEGCO TRANSACTION DRAWER AND PACKAGE PASS THRU UNIT TO BE PERMANENTLY INSTALLED AFTER EXTERIOR METAL PANELS ARE INSTALLED BY OTHERS.

DROP SAFE AND MANAGERS SAFE TO BE ENCASED IN CONCRETE. CONCRETE TO BE PAINTED GLOSS BLACK. SAFES TO BE FURN. BY MERIT.

G.C. TO REMOVE DROP SAFE FROM EXISTING KIOSK, CLEAN OFF ALL CONCRETE & REINSTALL PER DETAIL.

ALL EQUIPMENT & MATERIALS FOR KIOSK BUILDING ARE TO BE FURNISHED & INSTALLED BY G.C. UNLESS OTHERWISE NOTED.

HEAVY BROOM FINISH ON RAMPS & LANDING.

CONCRETE COLORED ISLANDS, BOOTH LANDING AND RAMPS

G.C. TO APPLY "COLORCRON" AS MFG. BY "MASTER BUILDER". COLOR TO BE BATTLESHIP GREY. APPLY TO TOPS OF KIOSK ISLAND, DISPENSER ISLANDS, LT. BASES & VACUUM PEDASTALS. DRY SHAKE OVER FRESHLY FLOATED CONCRETE AT A RATE OF 0.5lbs PER SQ. FT. OF SURFACE (SMOOTH SURFACE). FINISH AFTER CONCRETE HAS SET & DRIED WITH COLORCRON NOTED ABOVE FOR APPROXIMATELY 48 HOURS. APPLY BY ROLLER OR BRUSH ONE COAT OF MASTER BUILDERS FLOOR COAT CLEAR. CURING COATING AVAILABLE IN ONE GALLON CONTAINERS. G.C. SHALL PEEL PROTECTIVE COATING FROM ISLAND FORMS AND CLEAN ALL CONCRETE FROM IT'S SURFACE.

NOTE:

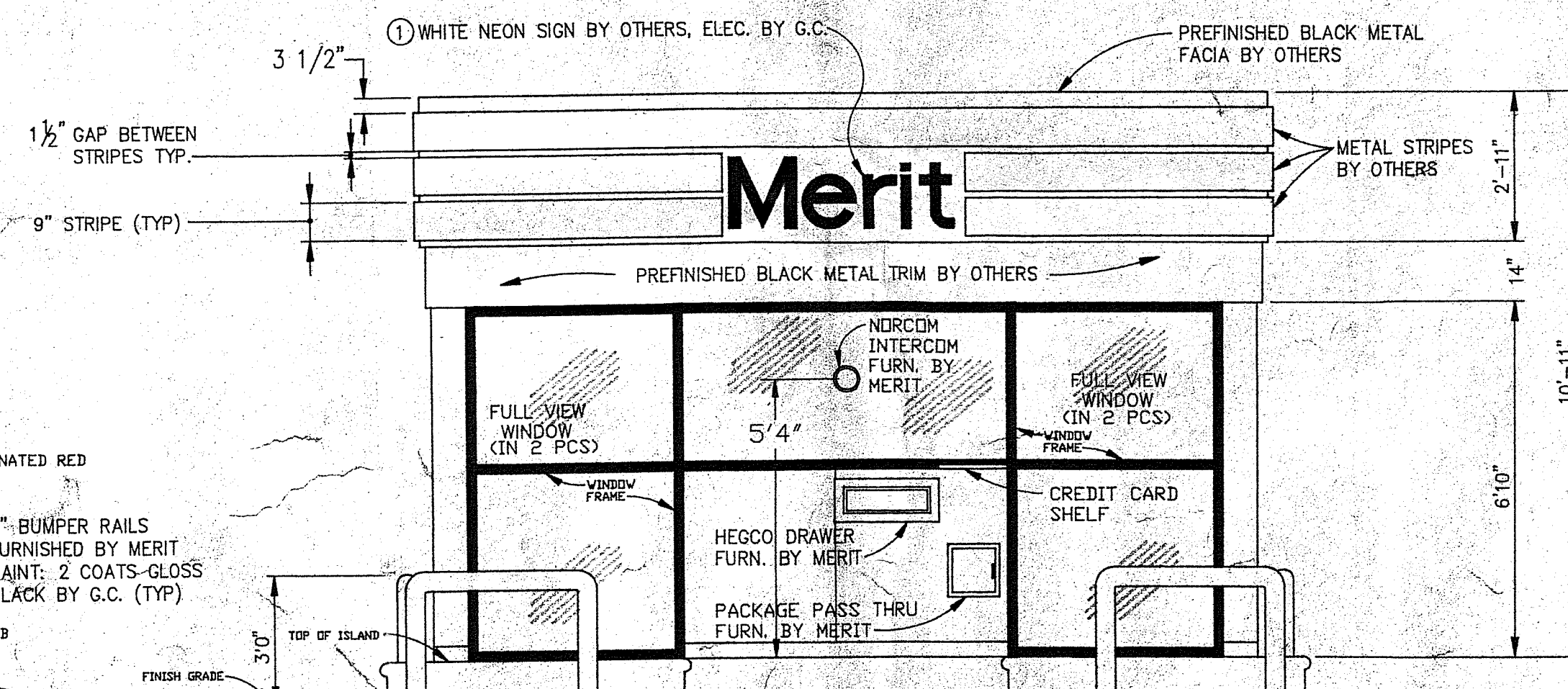
G.C. TO REMOVE EXIST'G SAFE FROM EXIST'G KIOSK. REMOVE ALL CONC. FROM SAFE & CLEAN. REINSTALL SAFE IN NEW 16'x16' KIOSK PER DETAIL.

NOTE:

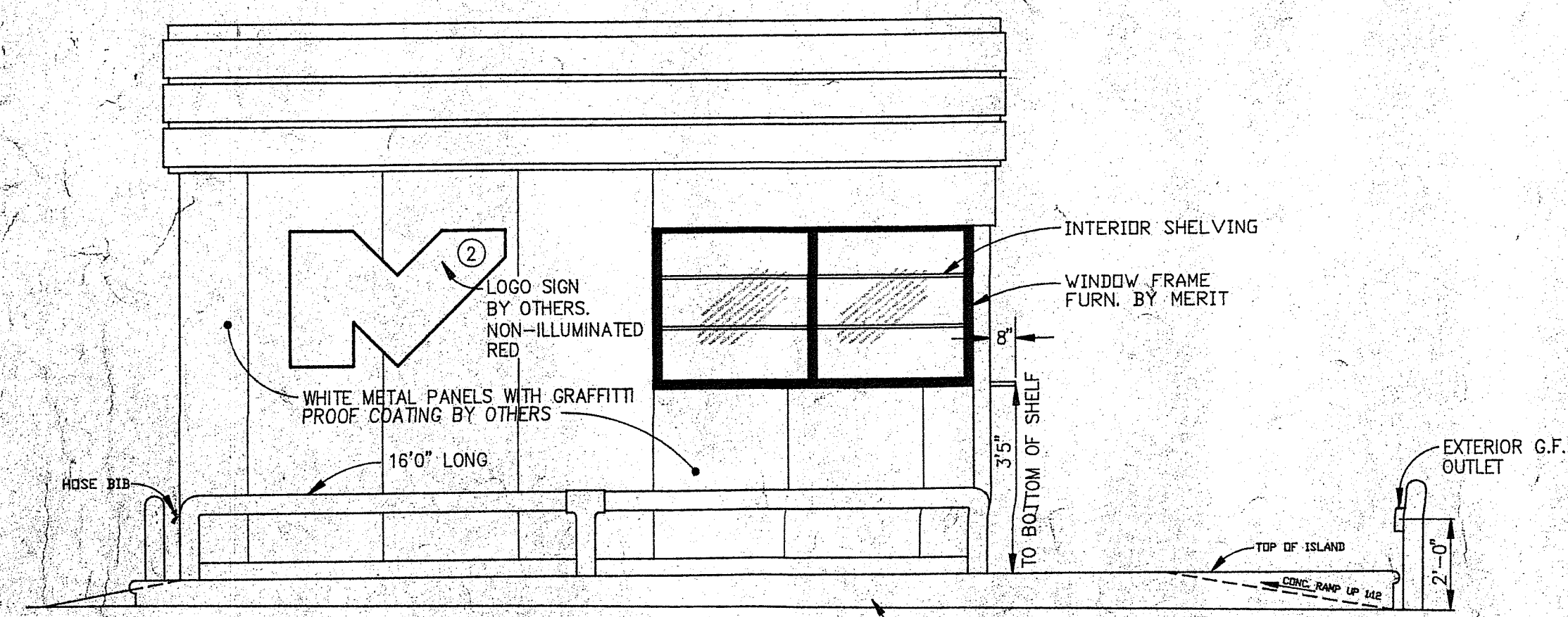
ALL GLAZING WILL BE 1" BULLET RESISTANT, FURNISHED BY MERIT



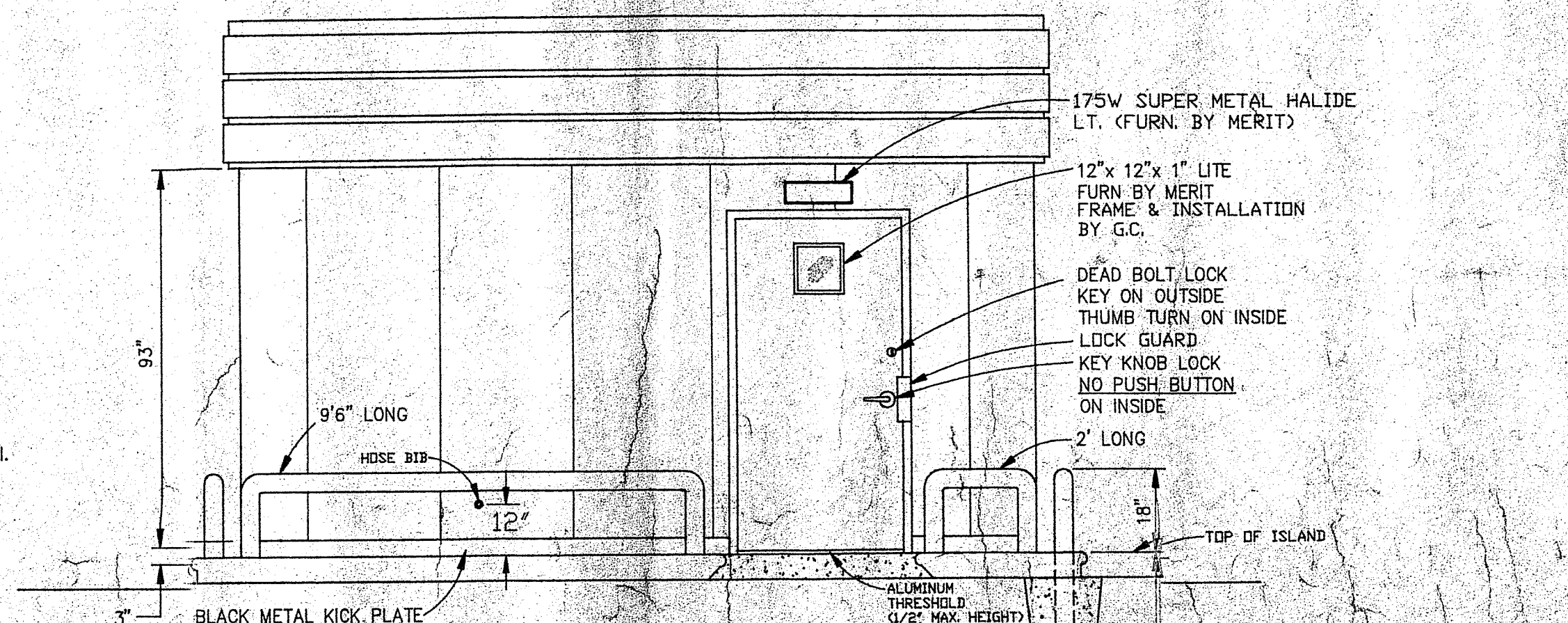
RIGHT SIDE ELEVATION
SCALE 3/8" = 1'-0"



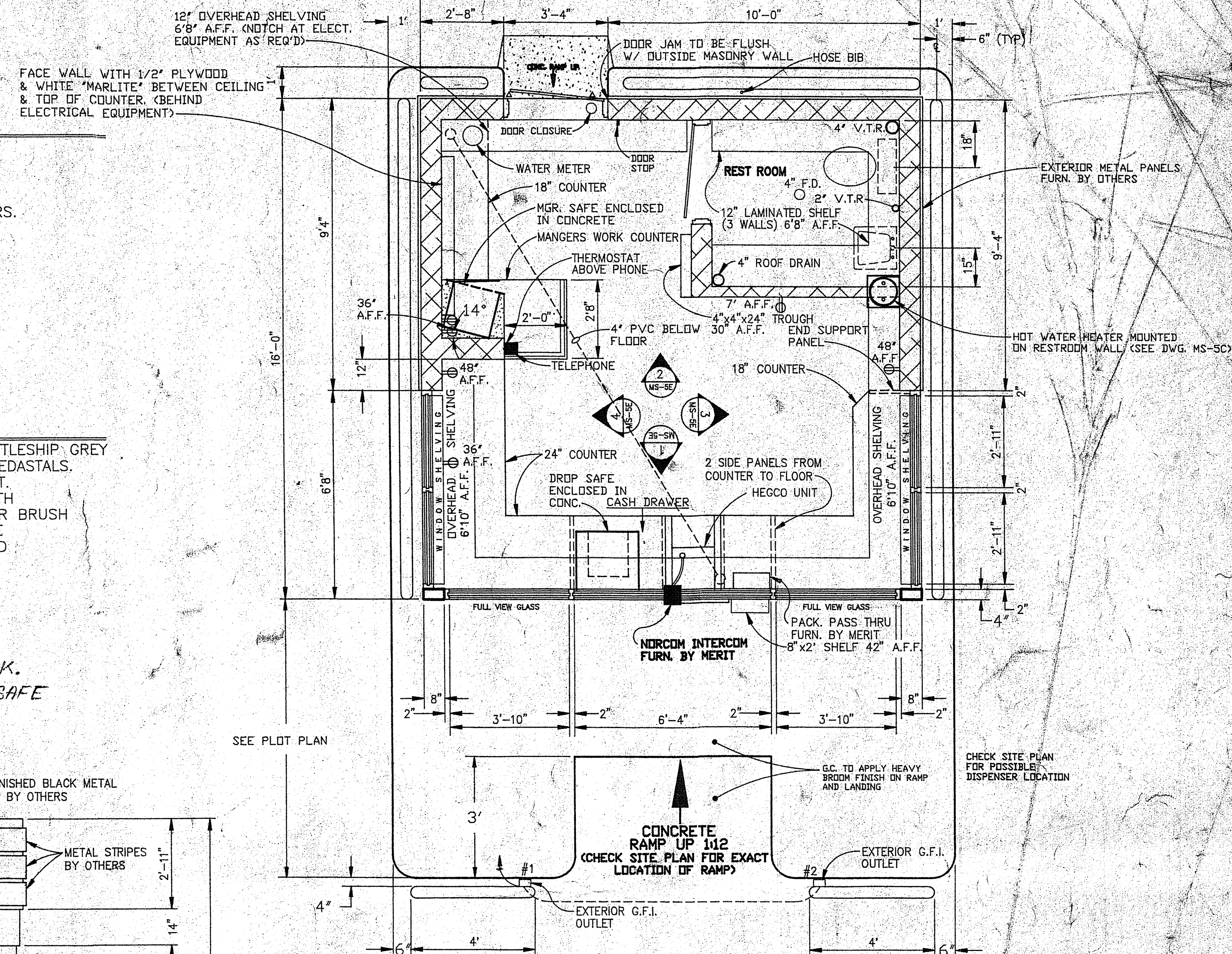
FRONT ELEVATION
SCALE 3/8" = 1'-0"



LEFT SIDE ELEVATION
SCALE 3/8" = 1'-0"



REAR ELEVATION
SCALE 3/8" = 1'-0"



FLOOR PLAN
SCALE 3/8" = 1'-0"

SIGN DATA

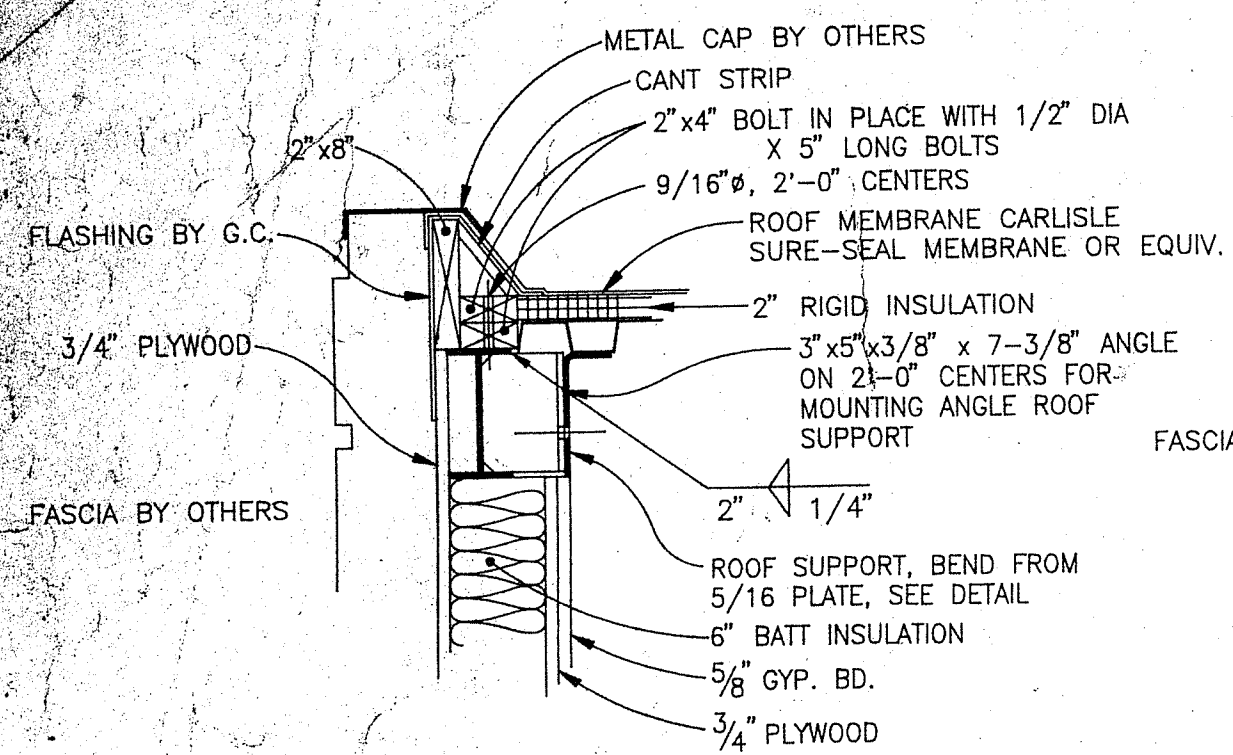
LOCATION	DESCRIPTION	WIDTH	HEIGHT	SQ. FT.
① FRONT ELEVATION	MERIT	4'-9"	1'-3"	5.94
② LT. SIDE ELEVATION	LOGO	4'-3"	2'-8"	11.3
③ RT. SIDE ELEVATION	LOGO	4'-3"	2'-8"	11.3
TOTAL SQ. FT.				28.5

APPROVED PLANS
ZONING BOARD OF REVIEW
DATE 6-8-95
PAGE 16 OF 16

3			
2	2/2/93	ALF	PLAN REDRAWN PER LAST REVISION #7 DATED 3/6/92
1			
REV. NO.	DATE	BY	DESCRIPTION
DRAWN BY:	DATE:		
CHECKED BY:	DATE:		

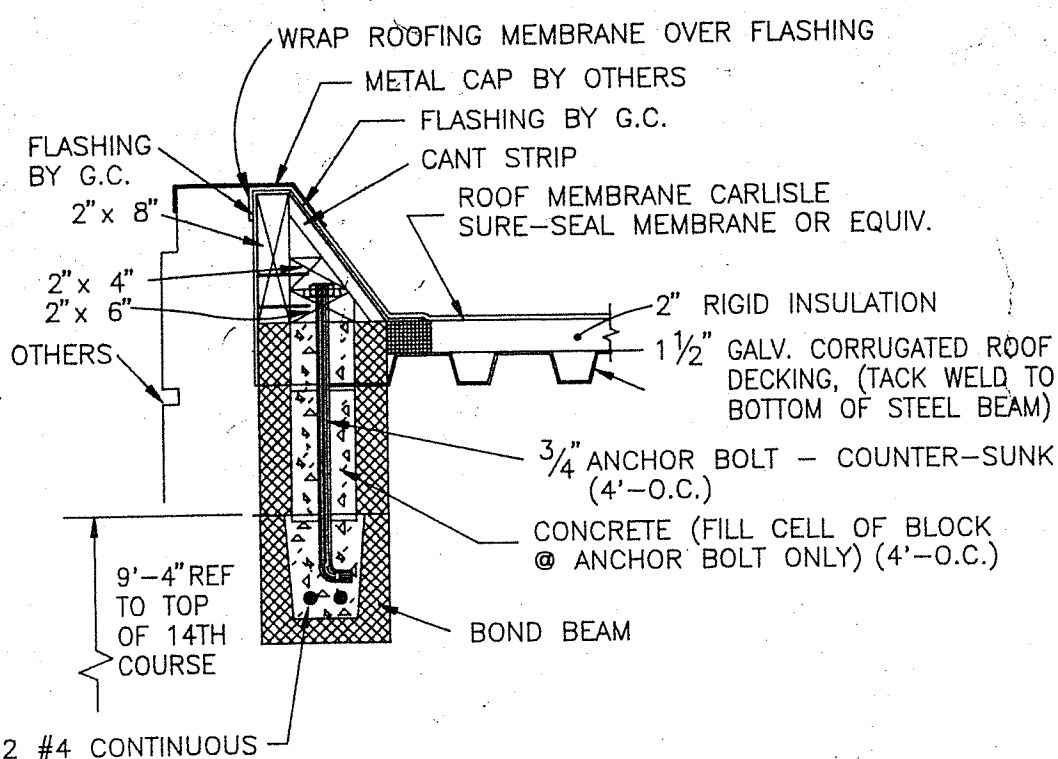
16' x 16' KIOSK BUILDING
ELEVATIONS & FOUNDATION

DRAWING NUMBER MS-5
SCALE: 1"=10'-0" (UNLESS NOTED)



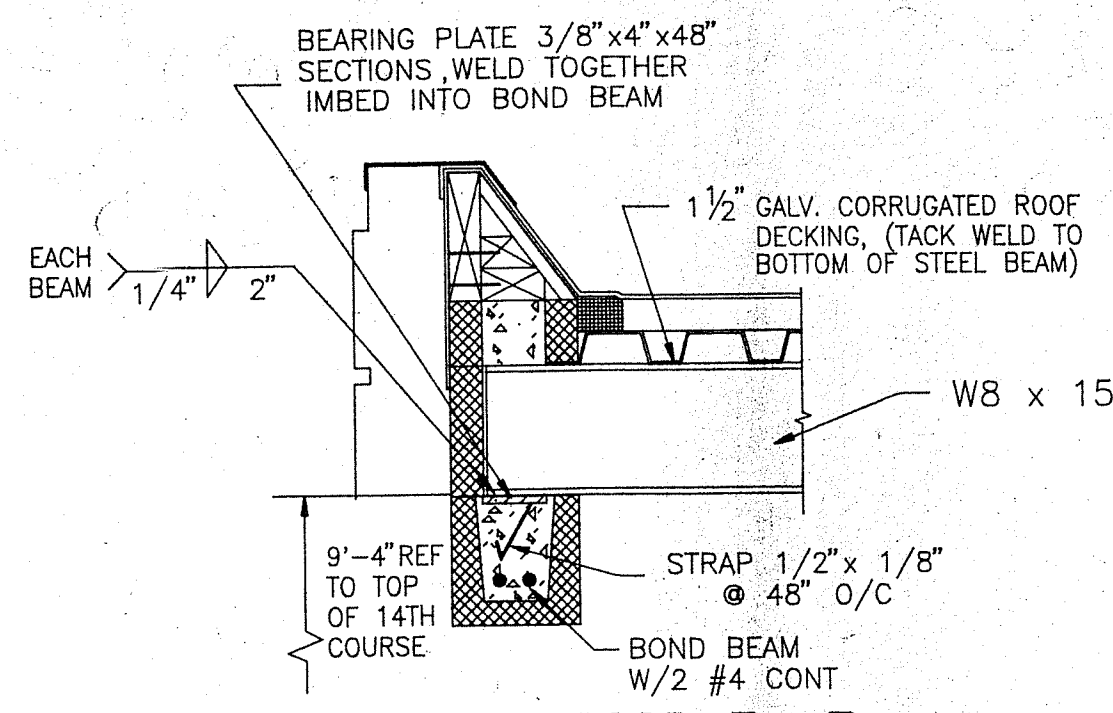
ROOF SECTION B-B

SCALE: 1" = 1'-0"



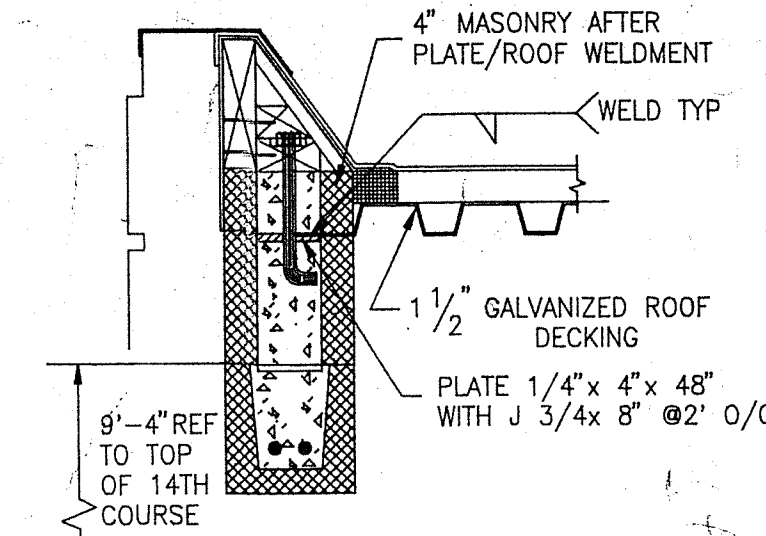
ROOF SECTION C-C

SCALE: 1" = 1'-0"



ROOF SECTION D-D

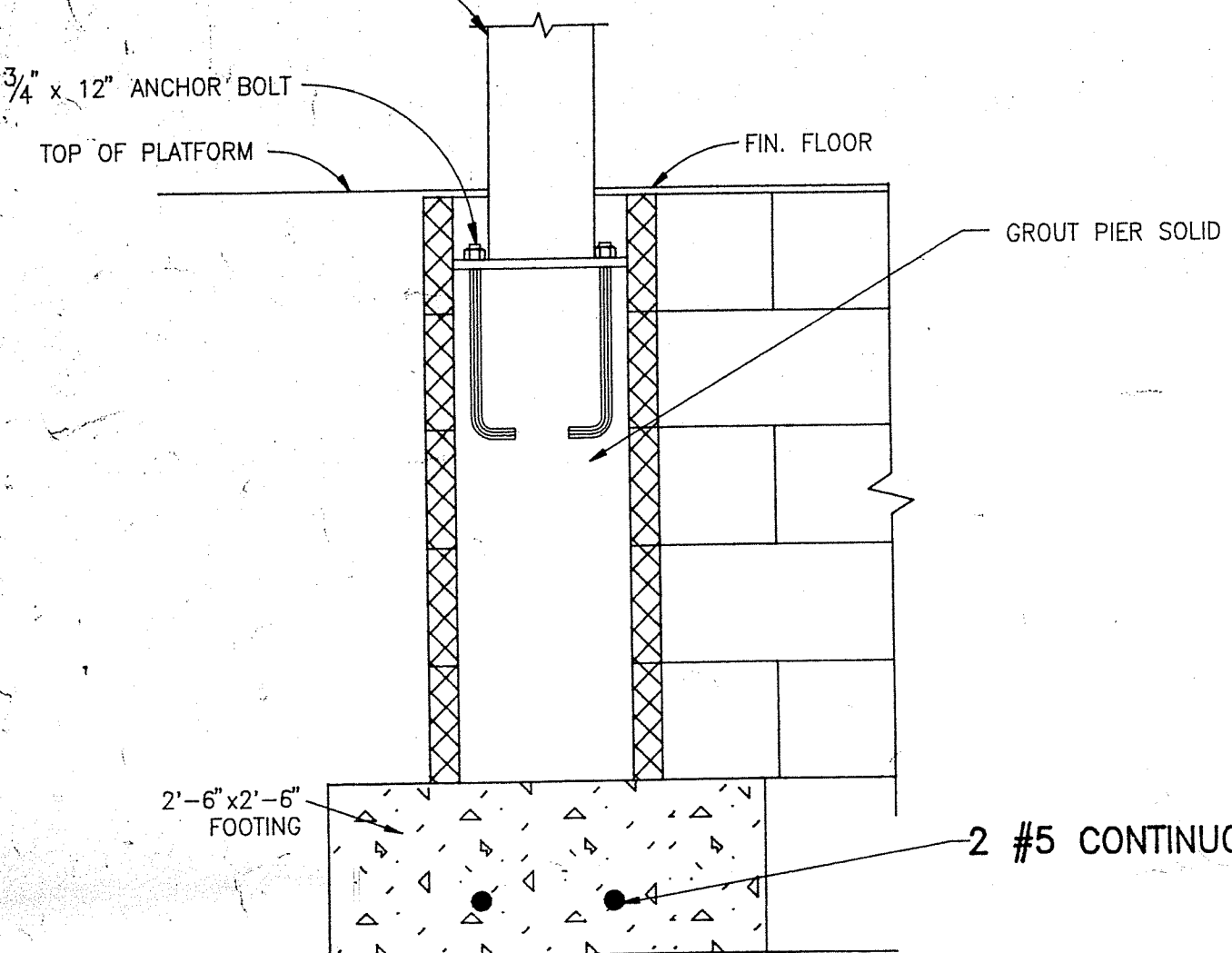
SCALE: 1" = 1'-0"



REAR ROOF SECTION BETWEEN BEAMS

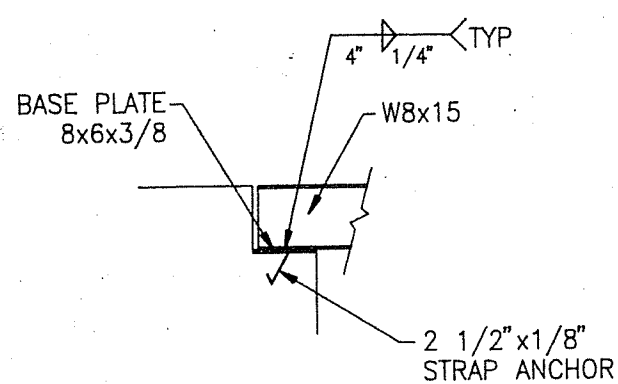
SCALE: 1" = 1'-0"

BASE OF COLUMN 4" BELOW FINISH FLOOR FILL WITH CEMENT EVEN WITH FLOOR AT COMPLETION OF KIOSK BLDG



SECTION E-E COLUMN FOOTING ELEVATION DETAIL

SCALE: 1" = 1'-0"



BEAM/PLATE DETAIL

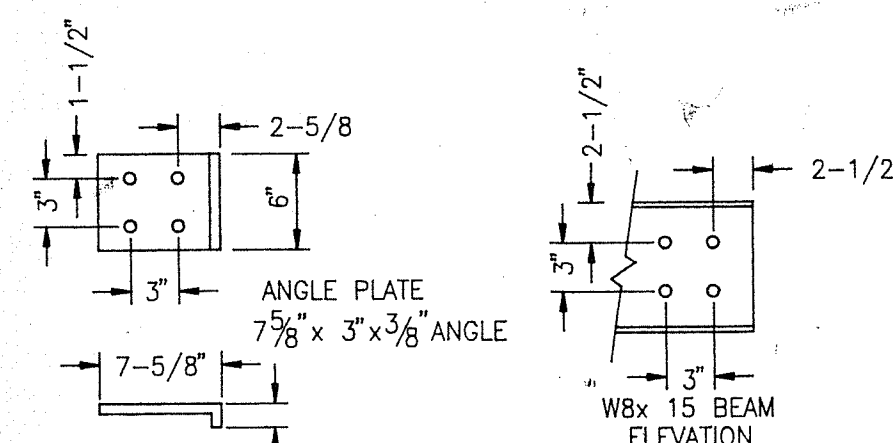
SCALE: 1/2" = 1'-0"

ROOF SUPPORT

SCALE: 1" = 1'-0"

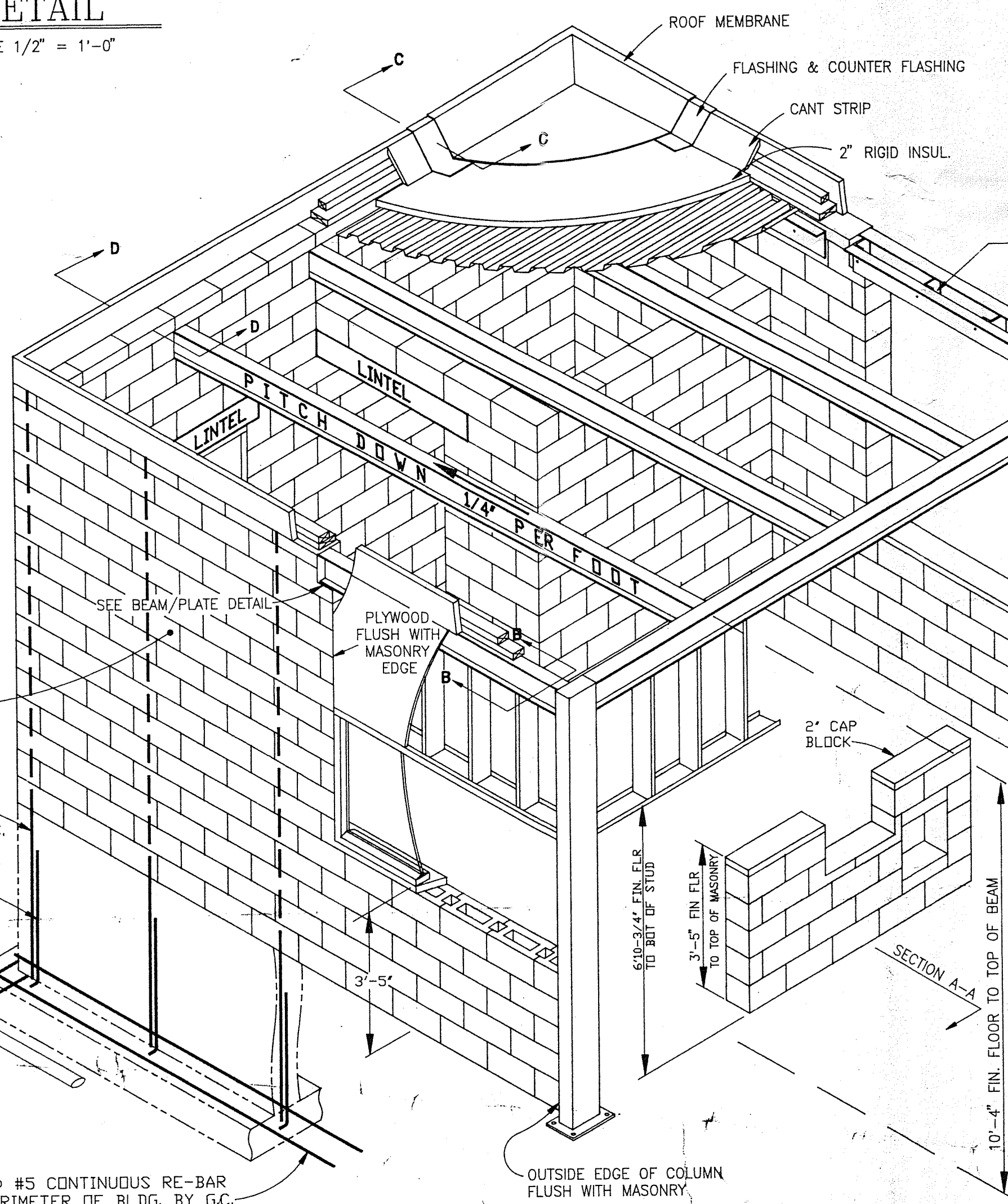
ROOF SUPPORT ANGLE BRACKET

SCALE: 1" = 1'-0"



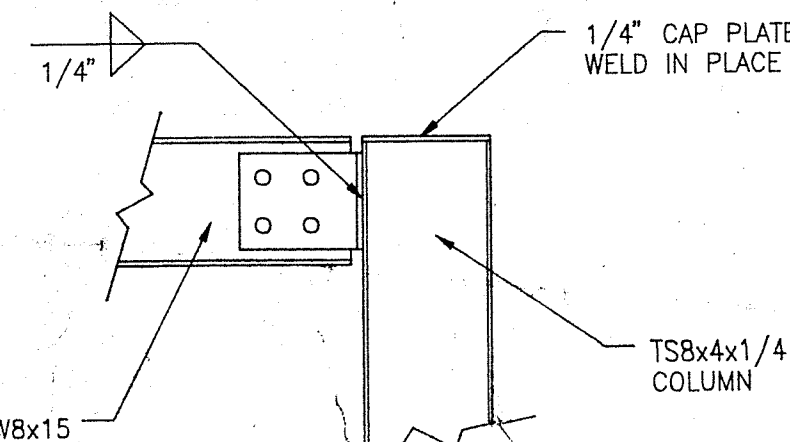
CONNECTION DETAILS

SCALE: 1" = 1'-0"



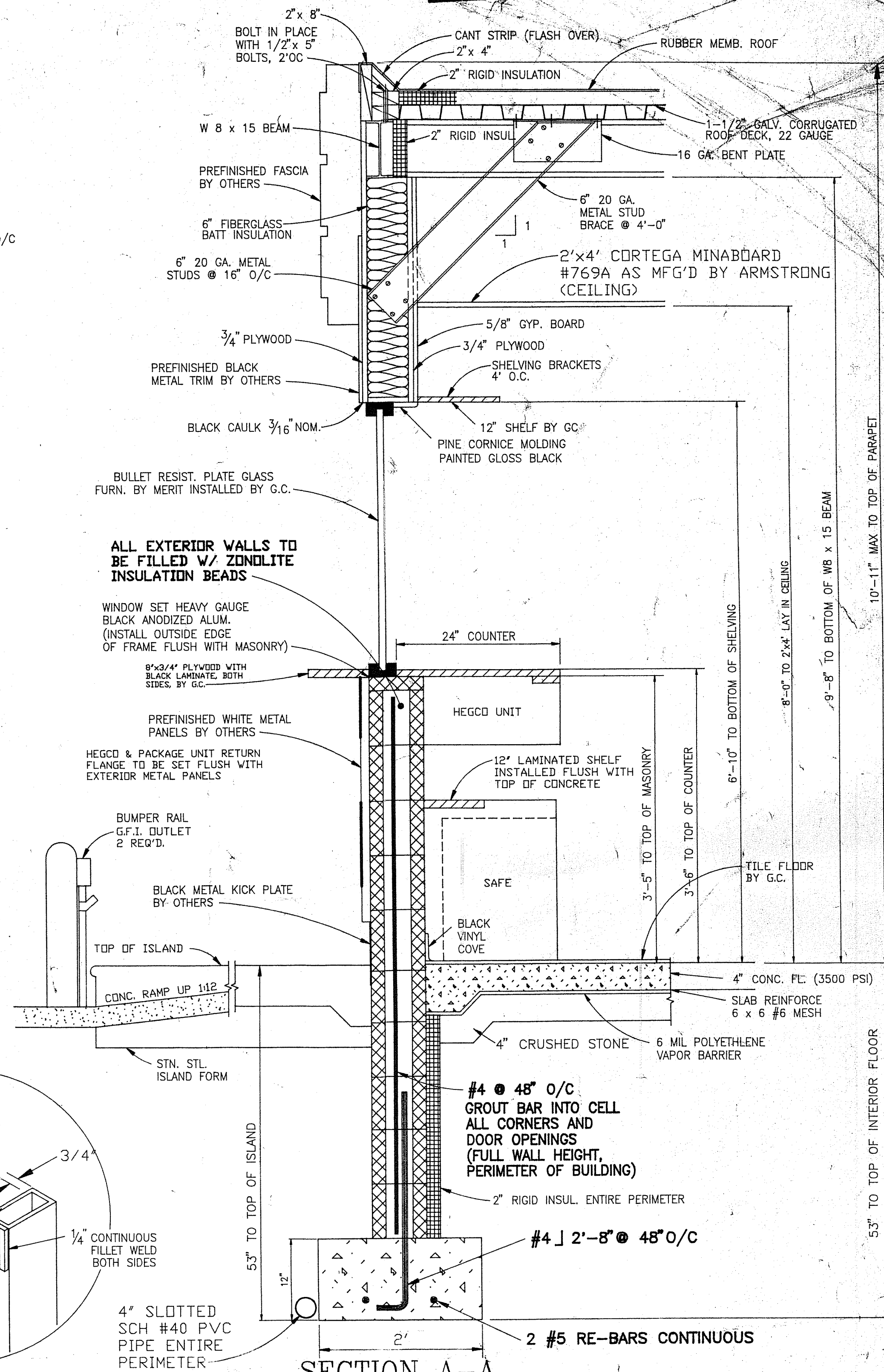
KIOSK ISOMETRIC

3/8" = 1'-0"



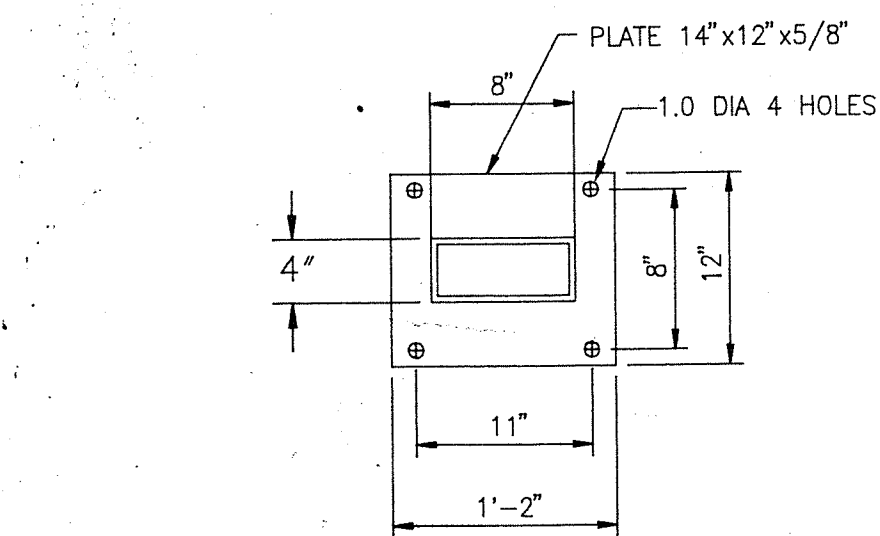
FRAME/COLUMN DETAILS

SCALE: 1" = 1'-0"



SECTION A-A

SCALE: 1" = 1'-0"



COLUMN FOOTING PLAN DETAIL

SCALE: 1" = 1'-0"

ALL EXTERIOR WALLS TO BE FILLED WITH ZONOLITE INSULATION BEADS
#4 RE-BAR, 48" O.C. FULL WALL HEIGHT PERIMETER OF BLDG. BY G.C.
#4 RE-BAR, 2'8" @ 4" O.C. PERIMETER OF BLDG. BY G.C.

FOUNDATION FOOTING

16"x16" CMU PIER 4 #6 VERTICAL GROUT PIER SOLID

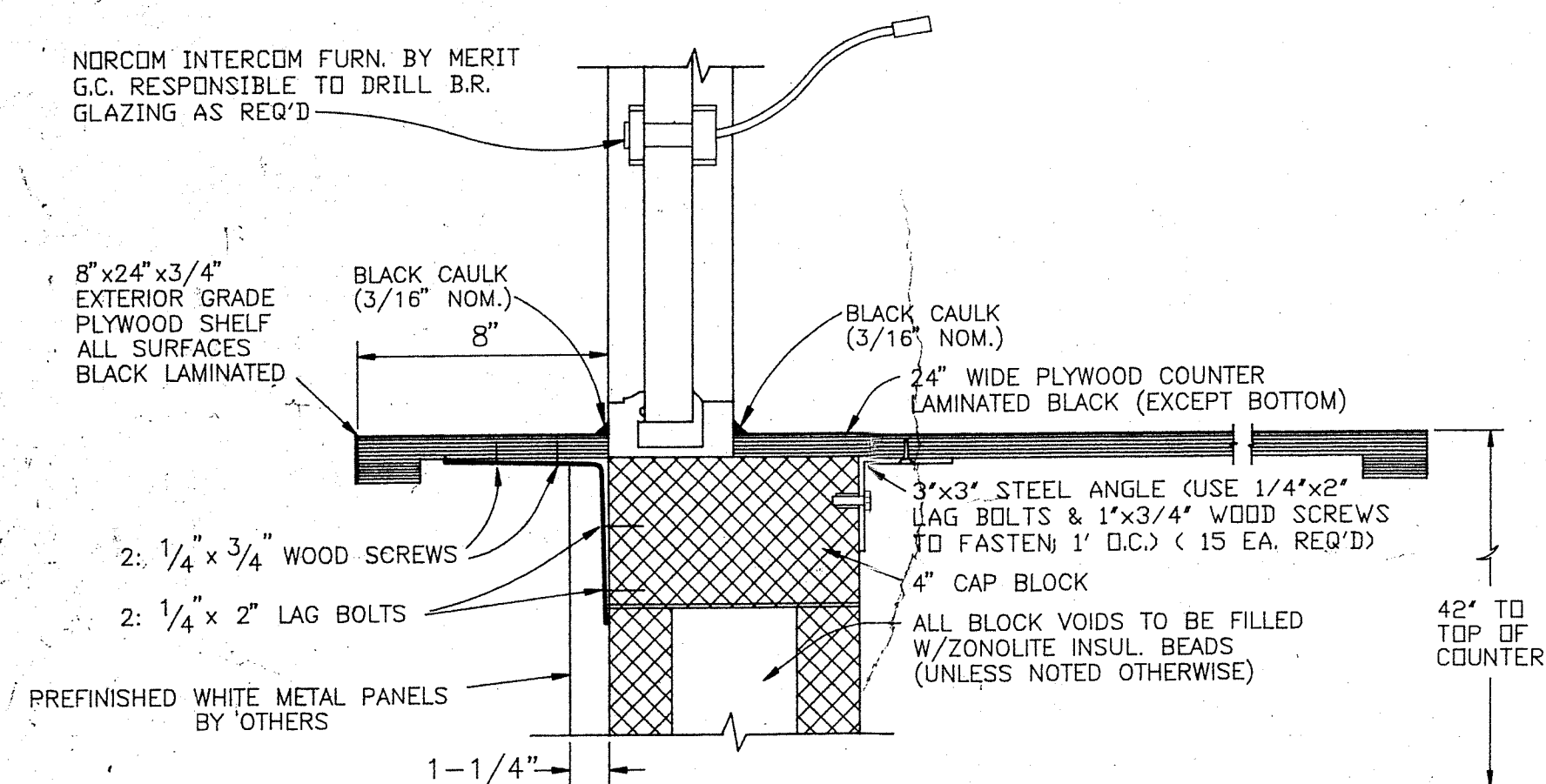
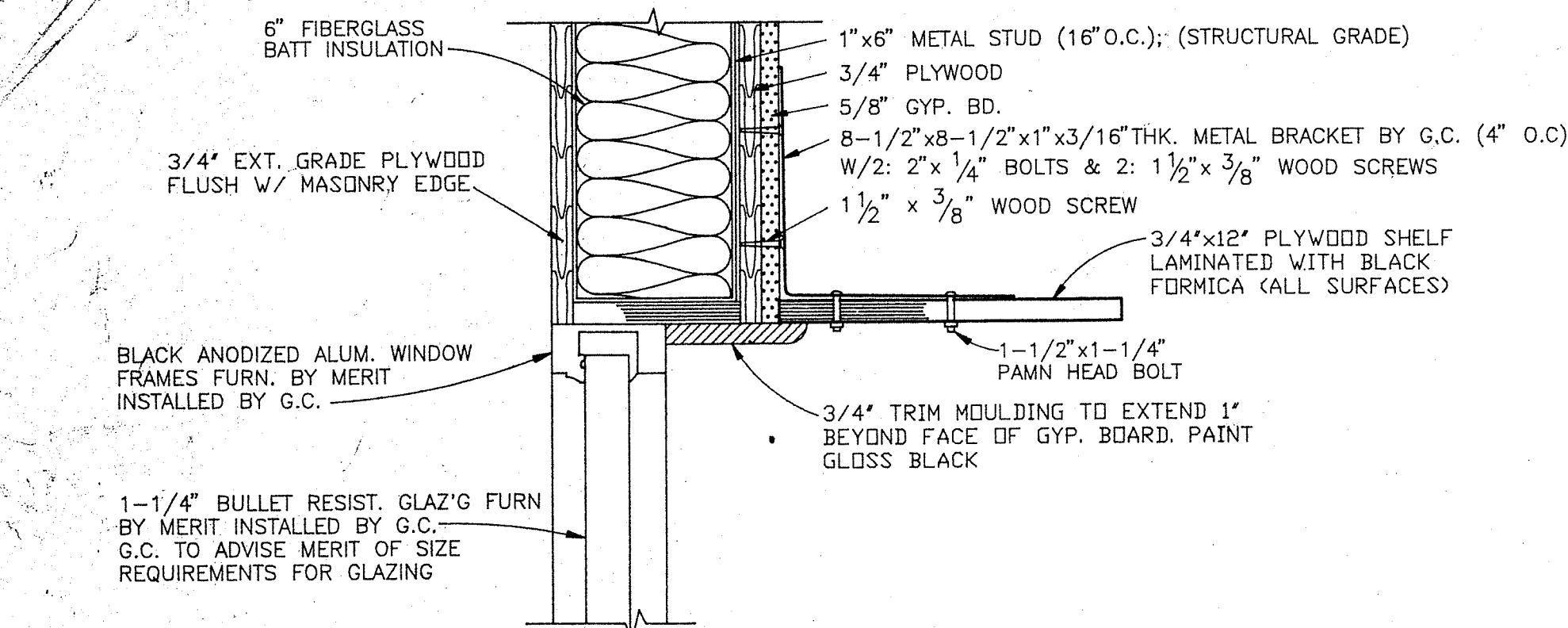
4" SLOTTED SCH #40 PVC PIPE ENTIRE PERIMETER

758x4x1/4 COLUMN

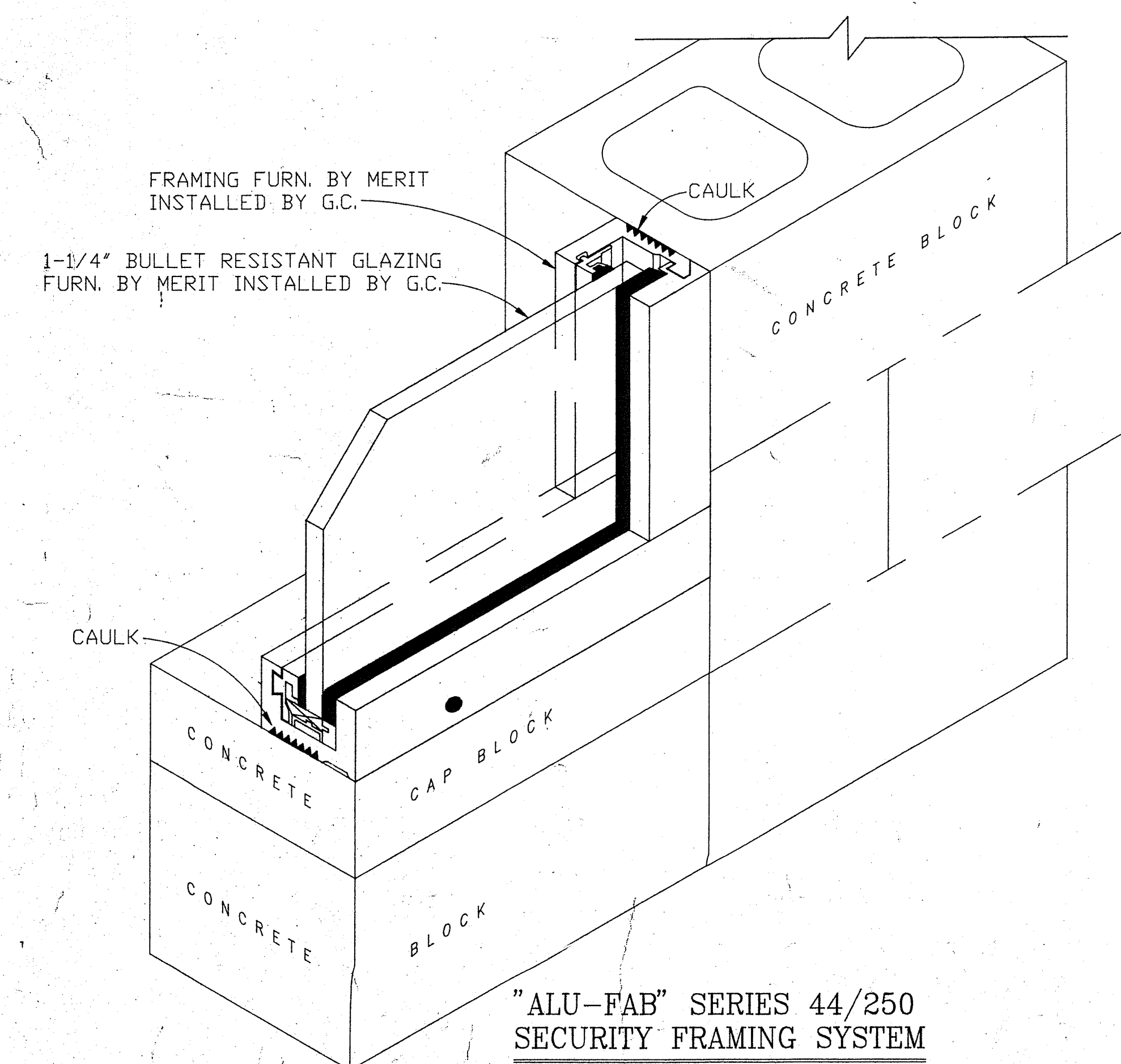
(2) #5 CONTINUOUS RE-BAR PERIMETER OF BLDG. BY G.C.

APPROVED PLANS
ZONING BOARD OF REVIEW
DATE 6-8-95
PAGE 2 OF 16

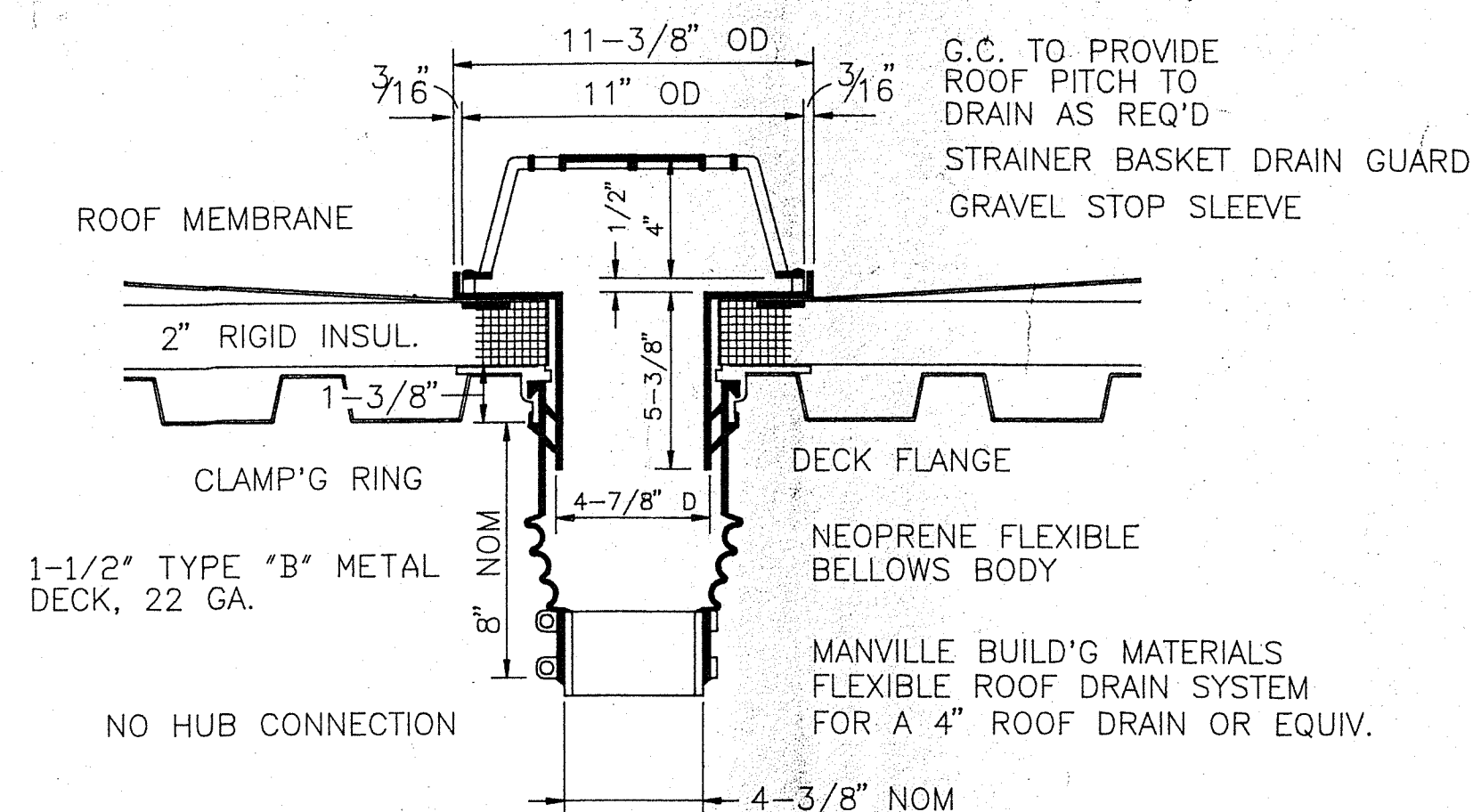
3					
2	6/2/93	ALF			PLAN REDRAWN PER LAST REVISION #6 DATED 7/30/92
1					
REV. NO.	DATE	BY	DATE	DESCRIPTION	
DRAWN BY:	DATE:				
CHECKED BY:	DATE:				
16' x 16' KIOSK BUILDING ISOMETRIC SECTIONS & FOOTING DETAILS					
DRAWING NUMBER MS-5A					
SCALE: 1"=10'-0" (UNLESS NOTED)					



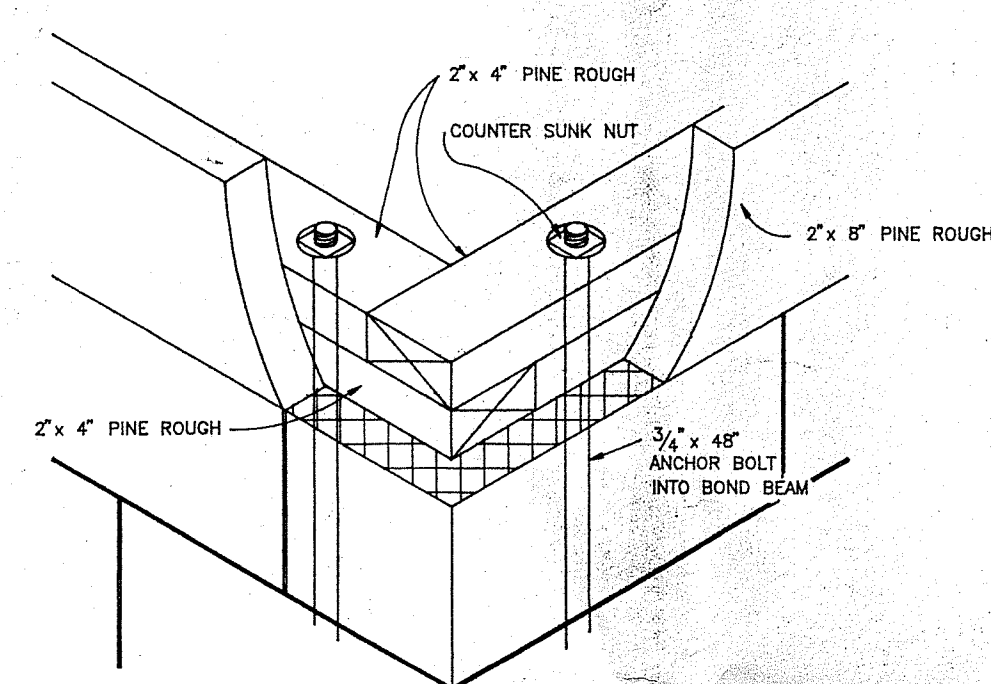
WINDOW TRIM SECTION DETAIL



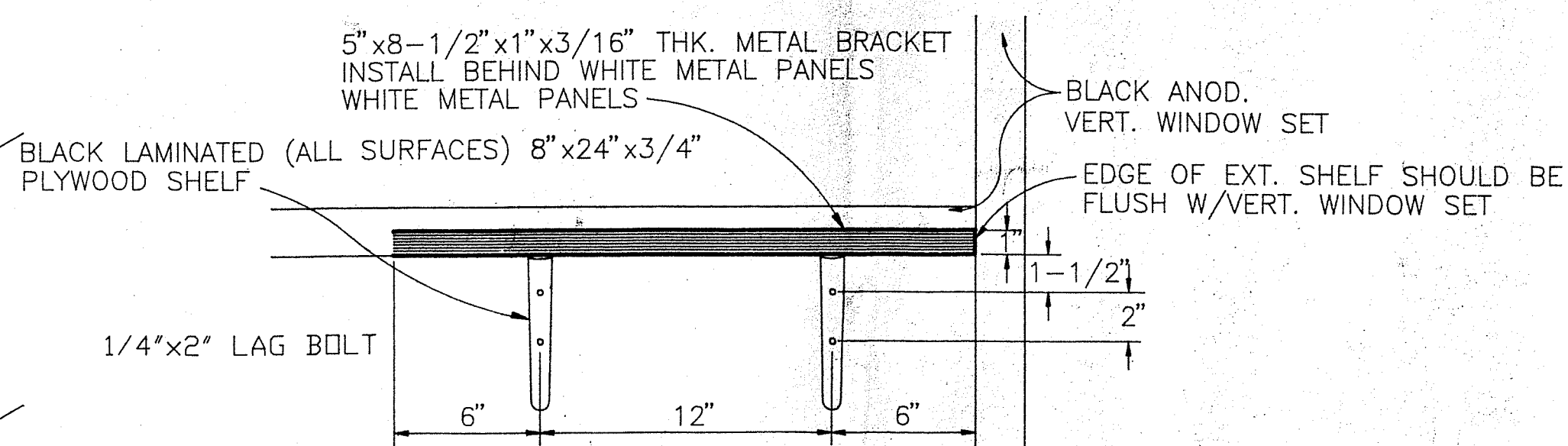
"ALU-FAB" SERIES 44/250 SECURITY FRAMING SYSTEM



ROOF DRAIN SECTION DETAIL

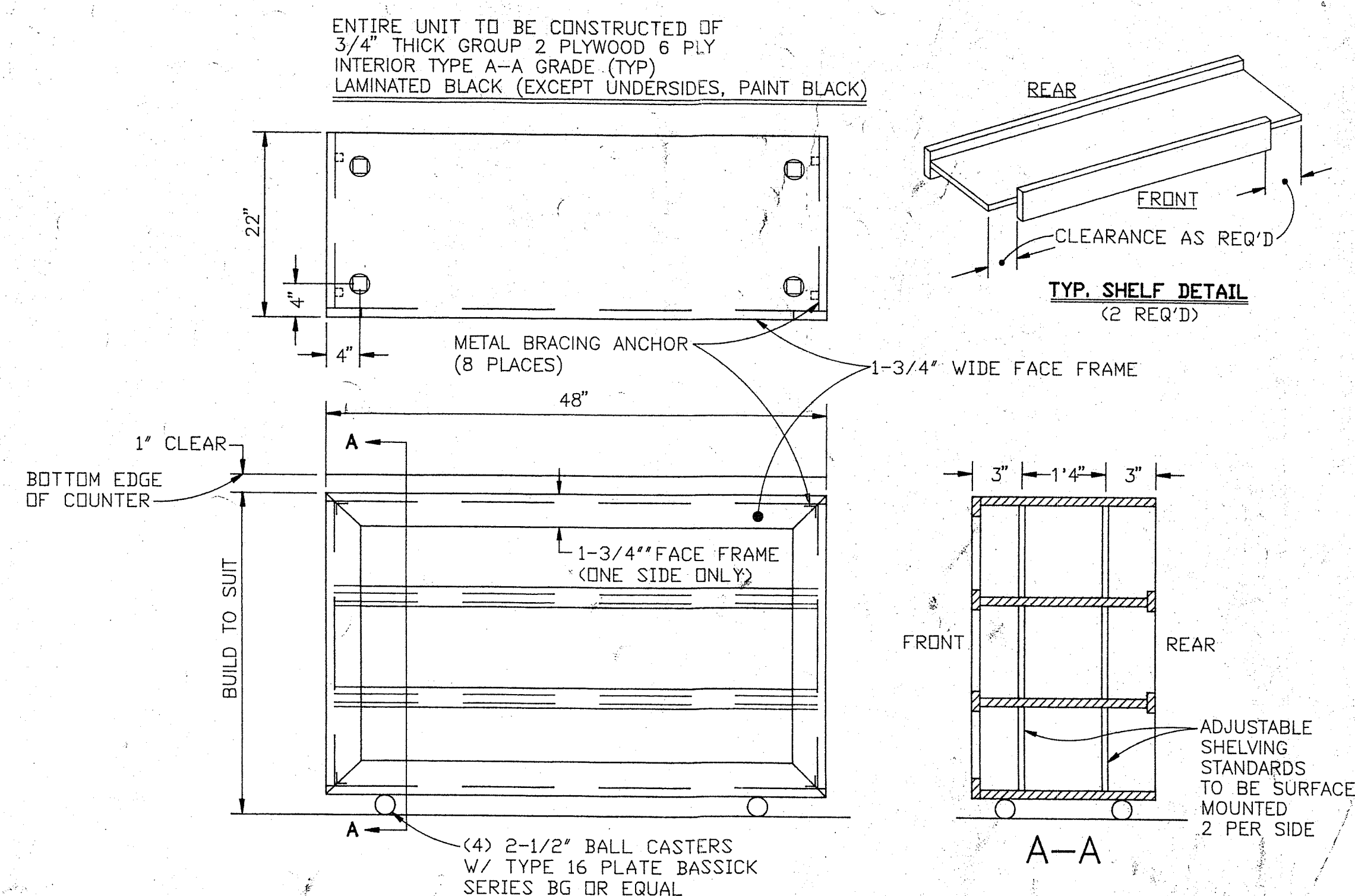


ROOF PARAPET ISOMETRIC DETAIL



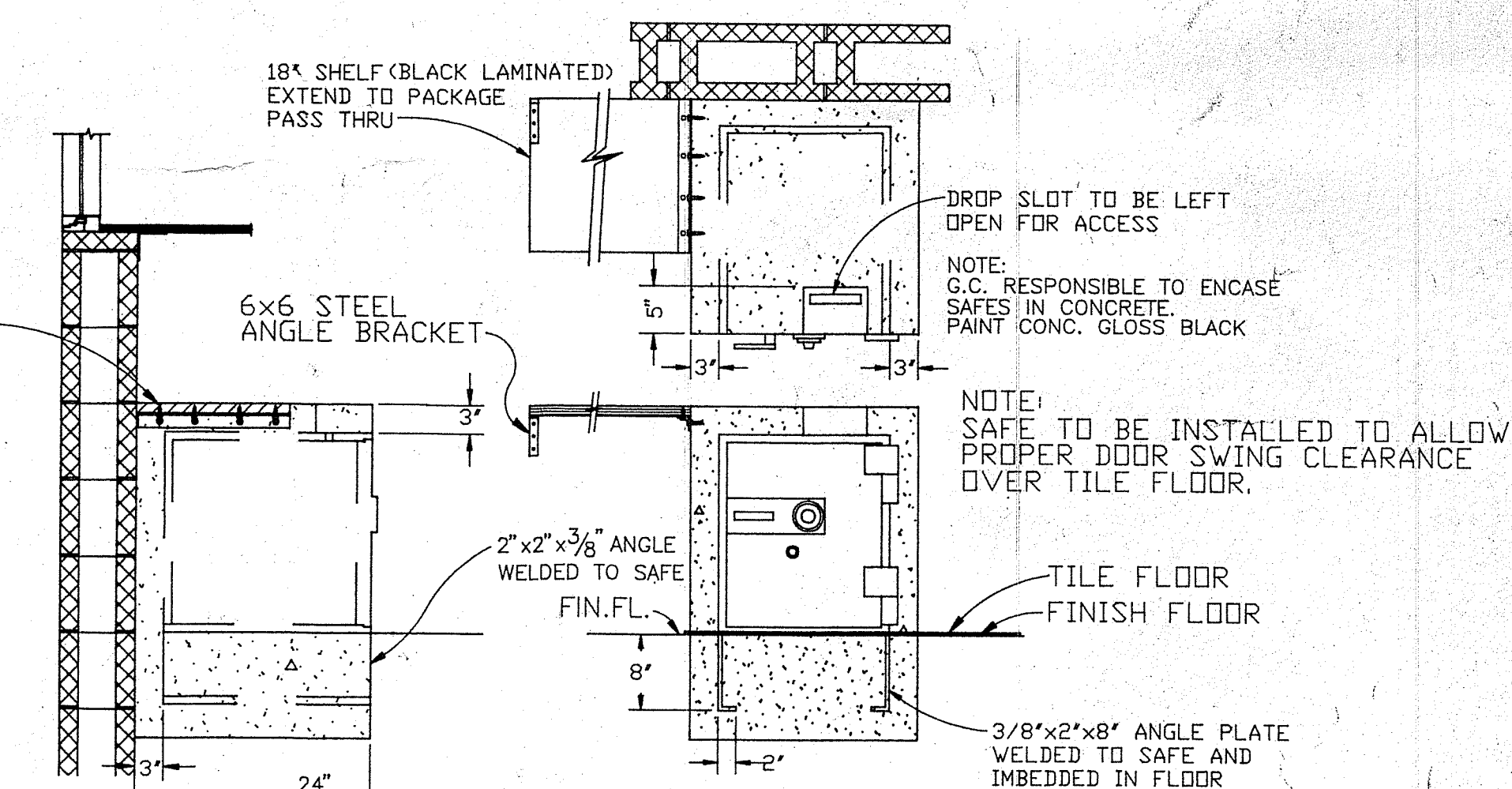
EXTERIOR CREDIT CARD SHELF ELEVATION DETAIL

ALL EQUIPMENT & MATERIALS FOR KIOSK BUILDING ARE TO BE FURNISHED & INSTALLED BY G.C. UNLESS OTHERWISE NOTED.



ROLL OUT DISPLAY UNIT (2) REQUIRED BY G.C.

3"x3" STEEL ANGLE (USE 1/4"x2" LAG BOLTS & 1"x3/4" WOOD SCREWS TO FASTEN 1' O.C.) < 15 EA. REQ'D



DROP SAFE & MANAGER SAFE DETAIL (MANAGER'S SAFE NOT SHOWN)

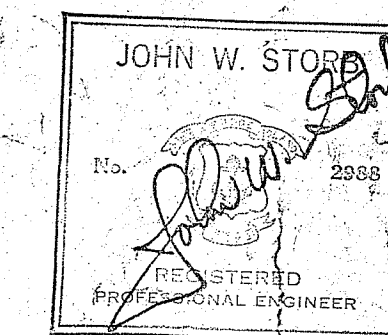
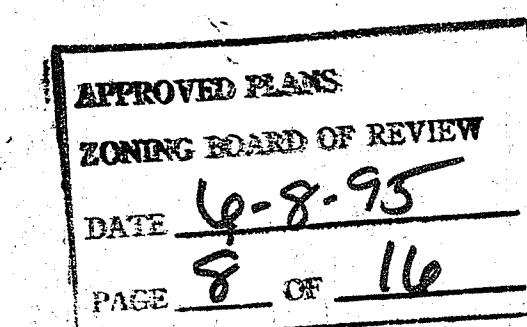
DESIGN LOADS

ROOF: LIVE LOAD = 30 PSF (INCLUDES SNOW)
DEAD LOAD = 10 PSF

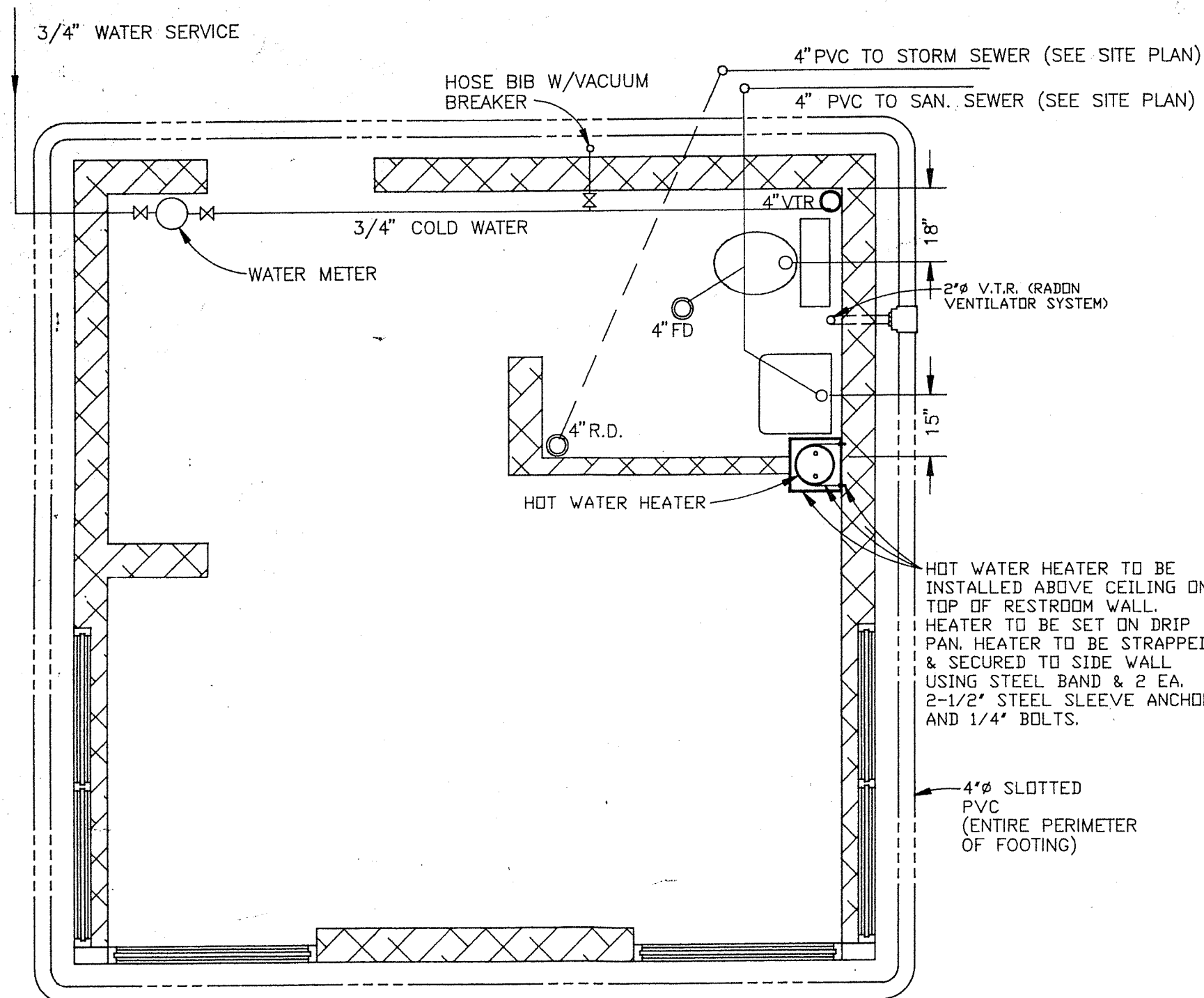
SNOW: BASE (GROUND) LOAD = 25 PSF
IMPORTANCE FACTOR = x1.0
EXPOSURE FACTOR = x0.7
18 PSF

WIND: WIND SPEED = 90 MPH
EXPOSURE = B
IMPORTANCE FACTOR = 1.05
BASIC WIND FORCE = 15 PSF
WIND PRESSURE COEFFICIENTS:
WINDWARD = 0.8
LEEWARD = -0.5
ROOF = -0.7

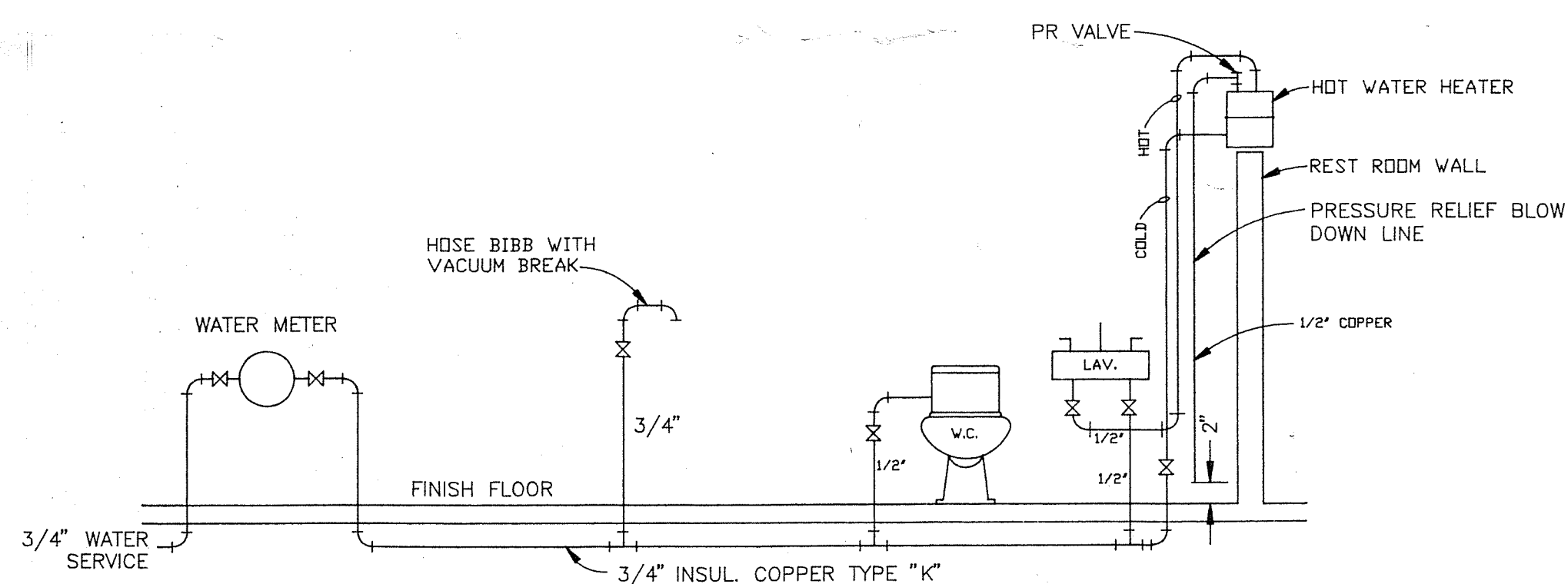
SEISMIC: Z = 0.375 (ZONE 2)
J = 1.0
K = 4.0 (UNREINF. MASONRY)
CS = 0.12



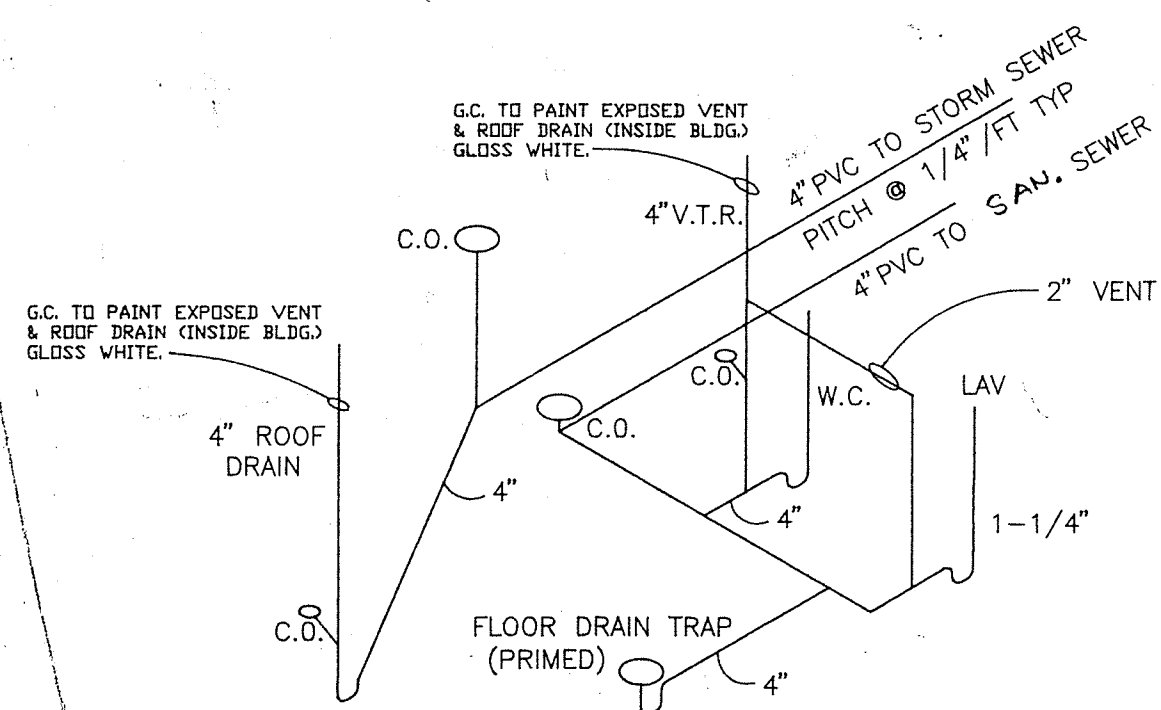
3			
2			
1	7/30/03	ALF	PLAN REDRAWN PER LAST REV. #6-3/9/92
REV. NO.	DATE	BY	DESCRIPTION
DRAWN BY: UTD	DATE: 2-90		
CHECKED BY:	DATE:		
KIOSK BUILDING DETAILS			
DRAWING NUMBER: MS-5B			
SCALE: 1"=10'-0" (UNLESS NOTED)			



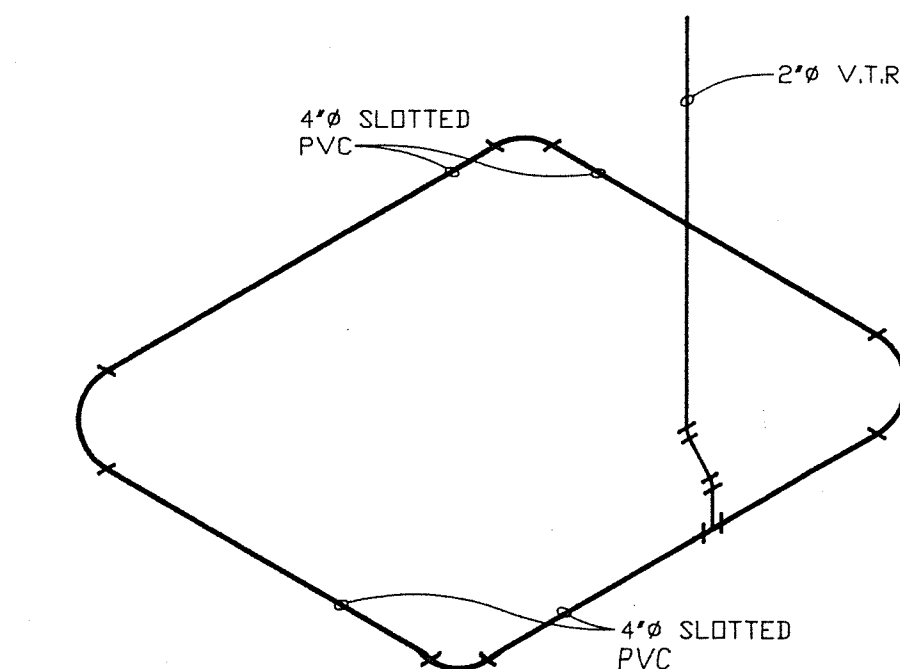
PLUMBING PLAN



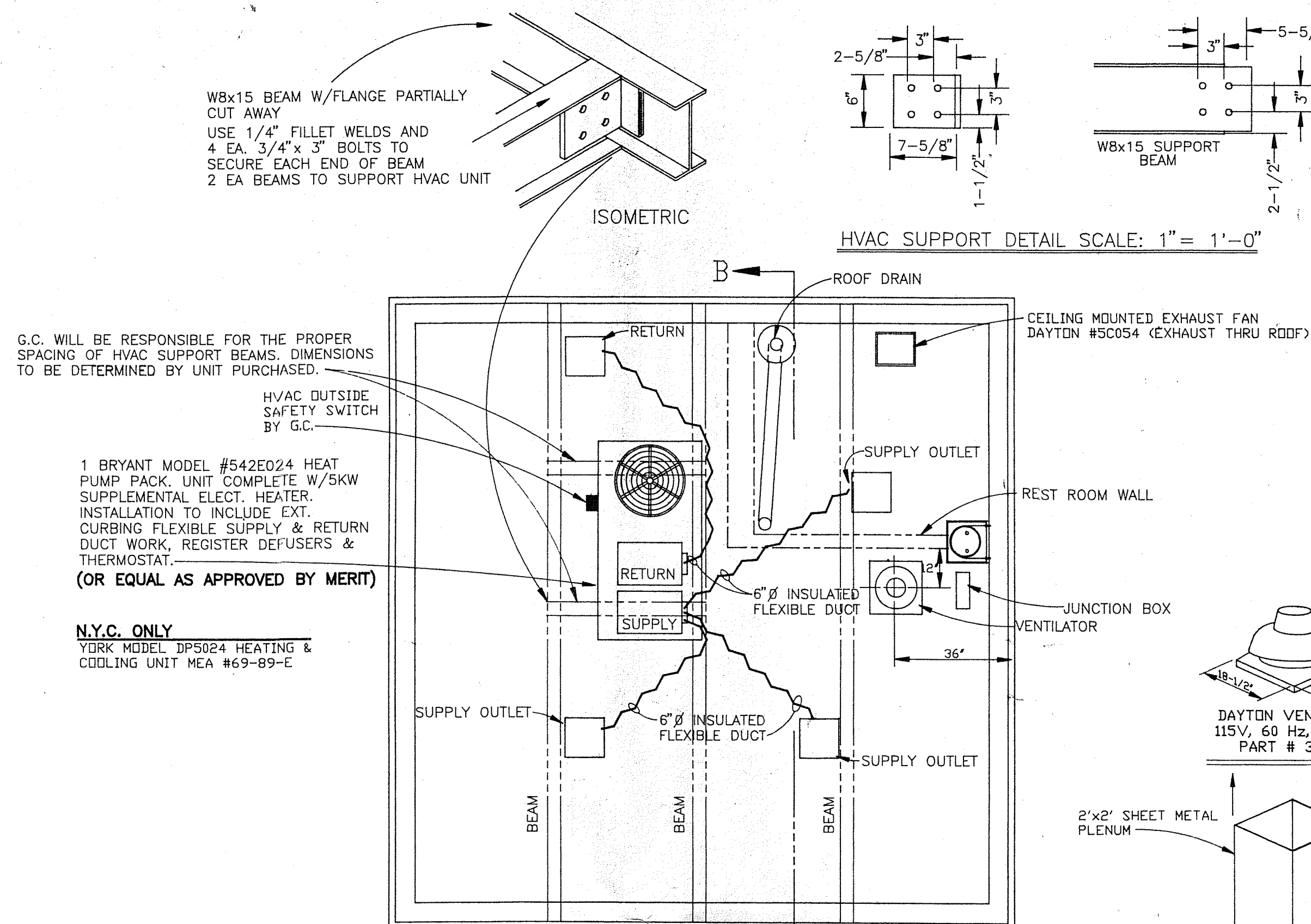
HOT & COLD WATER DIAGRAM



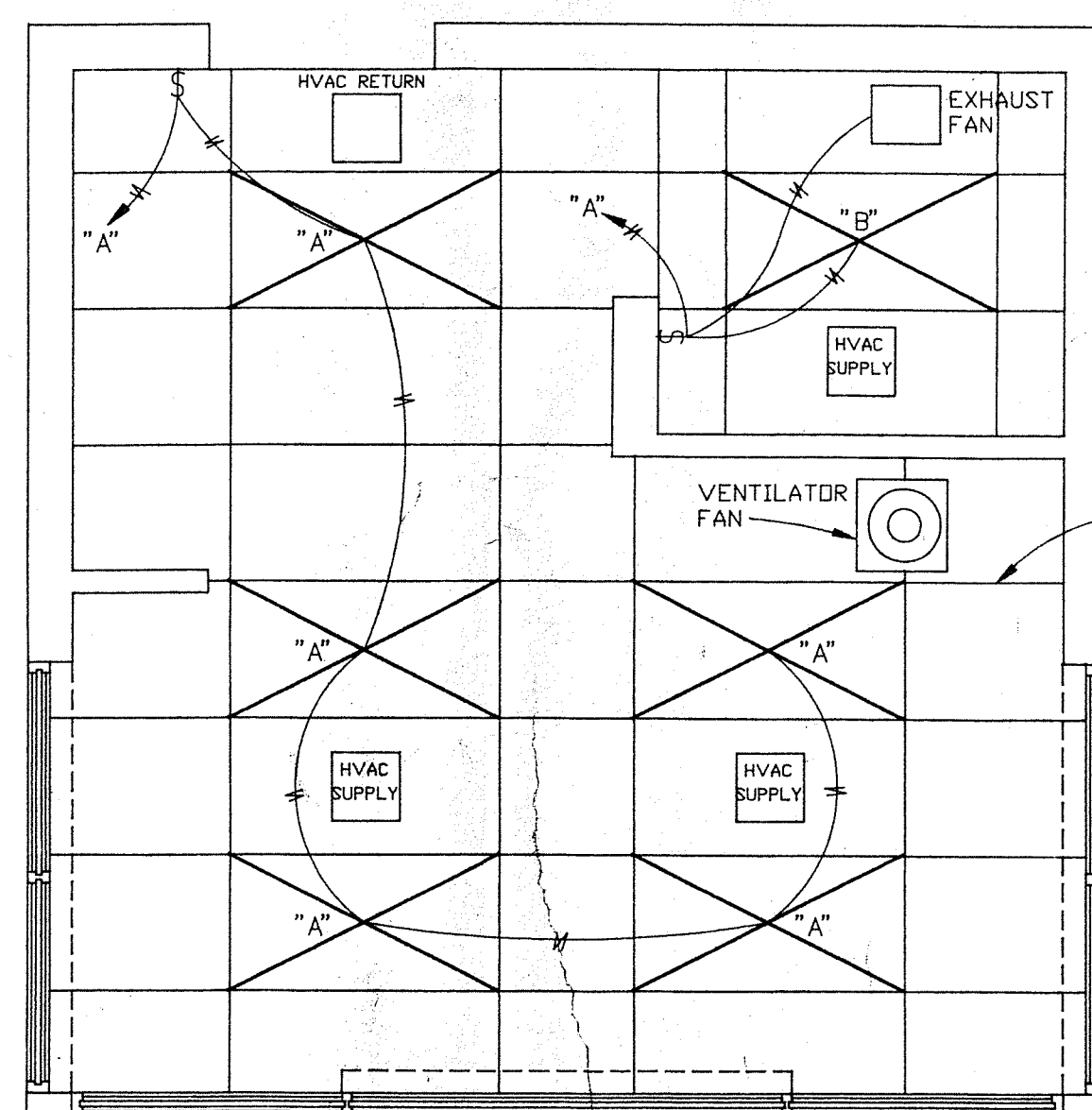
SANITARY PIPING DIAGRAM



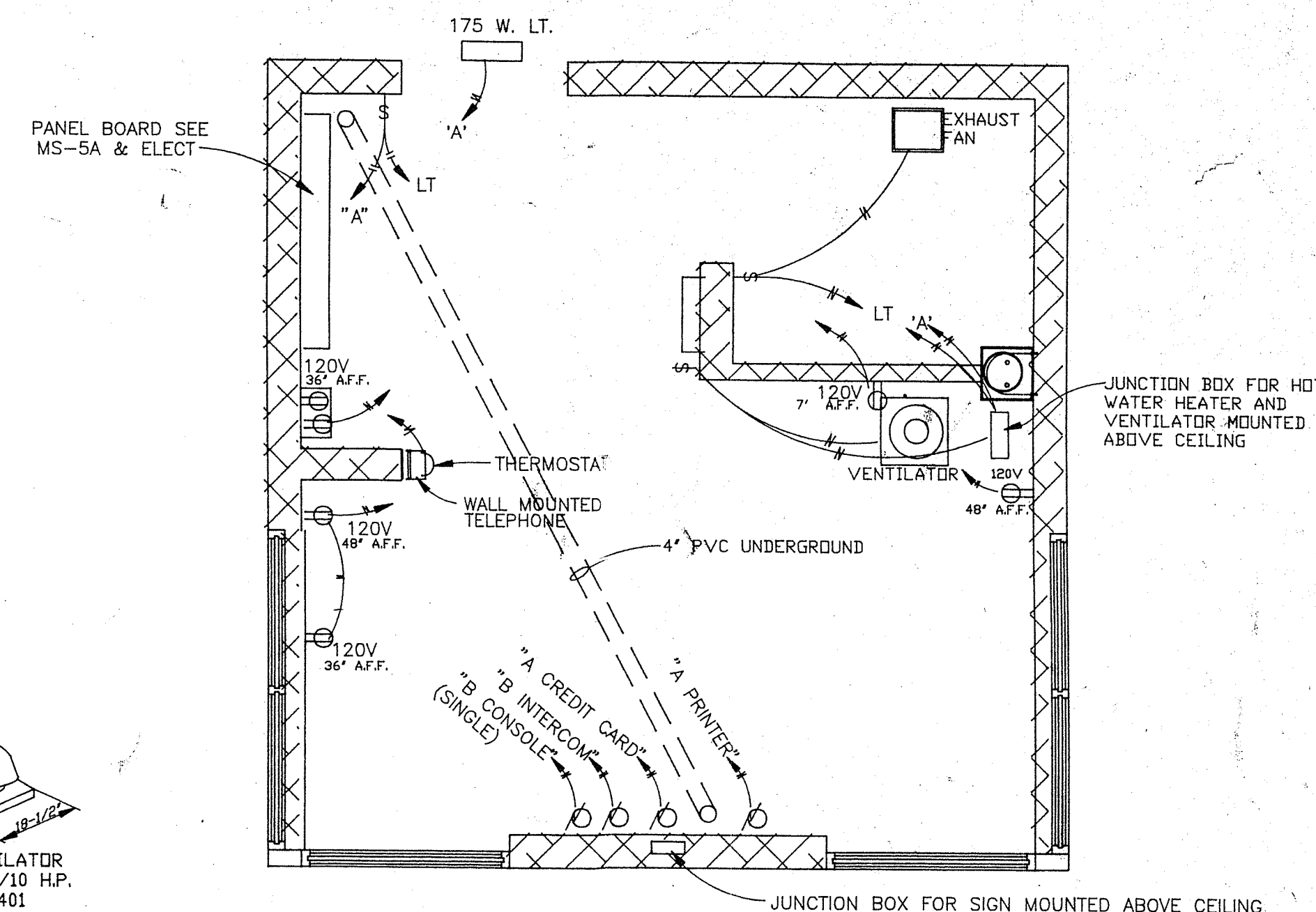
RADON VENTILATION SYSTEM
(AT EXTERIOR OF KIOSK FOOTING)
FURN. & INSTALLED BY G.C.



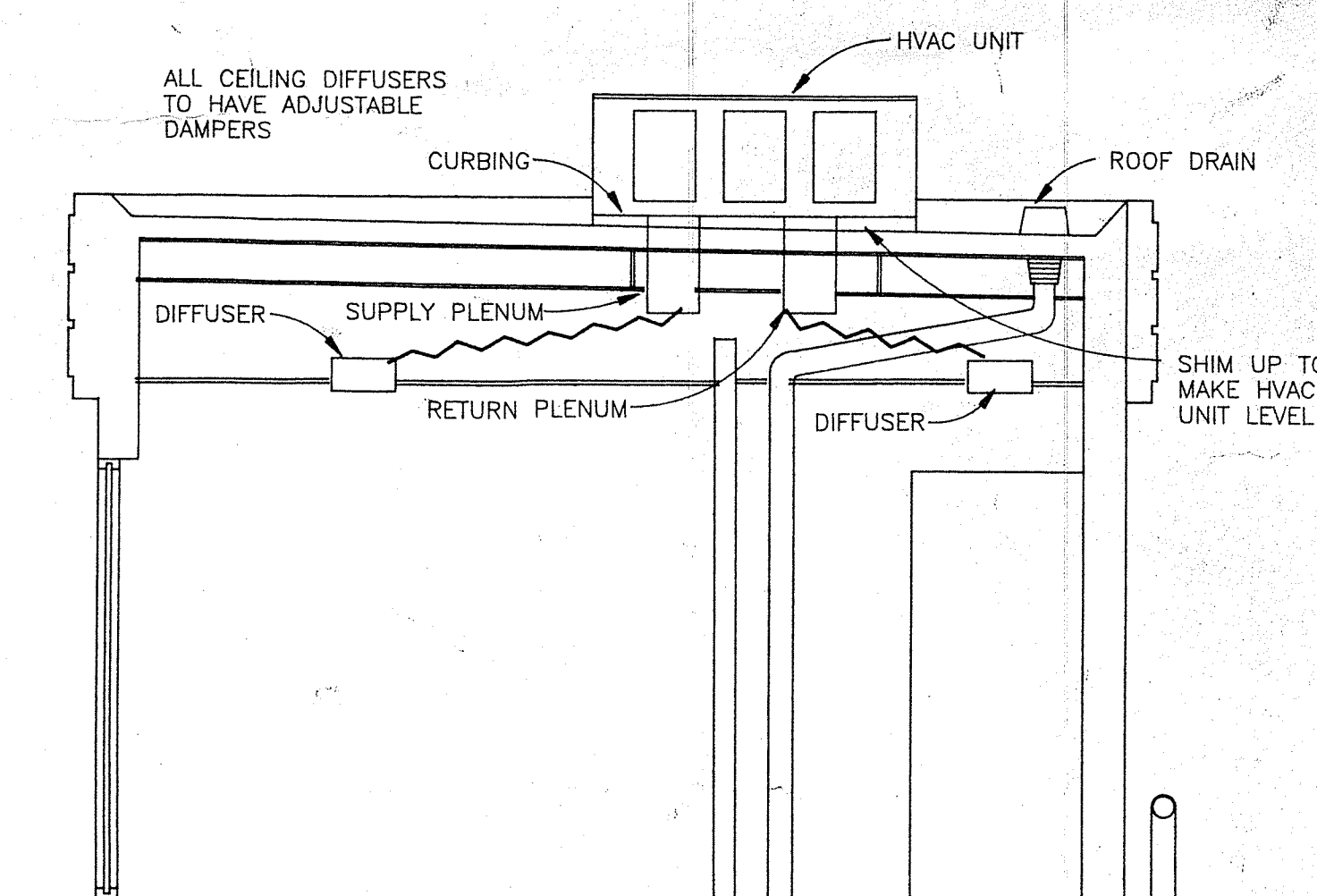
HVAC PLAN



REFLECTED CEILING PLAN



ELECTRICAL PLAN



SECTION B-B

ALL EQUIPMENT & MATERIALS FOR KIOSK BUILDING ARE TO BE FURNISHED & INSTALLED BY G.C. UNLESS OTHERWISE NOTED.

APPROVED PLANS
ZONING BOARD OF REVIEW
DATE 6-8-95
PAGE 9 OF 16

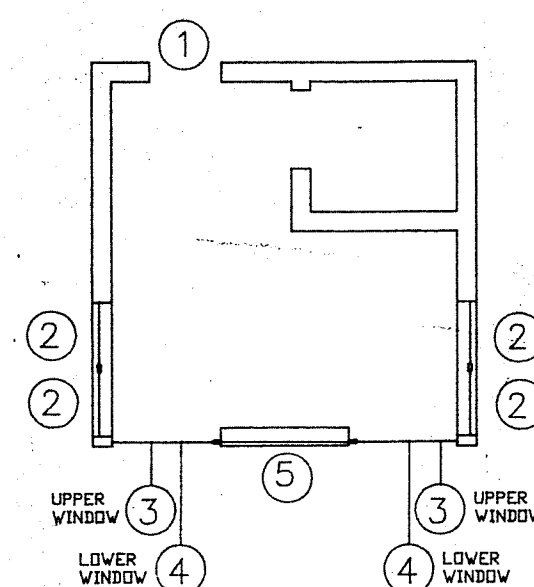
3				
2				
1	6/3/93	ALF		PLAN REDRAWN PER LAST REVISION #6 DATED 3/25/92
REV. NO.	DATE	BY		DESCRIPTION
DRAWN BY: ALF	DATE: 6/3/93			
CHECKED BY:	DATE:			
<div> <div>JOHN W. [Signature]</div> <div>REGISTERED PROFESSIONAL ENGINEER</div> </div> <div>16' x 16' KIOSK BUILDING ELECTRICAL, PLUMBING & HVAC PLAN</div>				
DRAWING NUMBER: MS-5C				
SCALE: 1"=10'-0" UNLESS NOTED				

FINISH SCHEDULE

	FLOOR	BASE	WALL	CEIL'G	REMARKS
<div> <div>LEFT WALL</div> <div>REAR WALL</div> <div>RIGHT WALL</div> <div>FRONT WALL</div> </div>	ARMSTRONG STANDARD EXCELON	VINYL COVE (4")	5/8" GYP. BD.	PAINTED GLOSS WHITE ENAMEL	2" x 4" LAY IN WHITE CEILING
REST ROOM					CEILING AT 8'-0"
SALES AREA					CEILING AT 8'-0" NOTE: GYP.BD. ONLY ABOVE WINDOWS
UTILITY AREA					CEILING AT 8'-0"

MFGS. NAMES & ADDRESSES

VENTILATOR	DAYTON MODEL #3C401
EXHAUST FAN	DAYTON MODEL #5C054
HVAC	BRYANT MODEL# 542E024 N.Y.C. ONLY — YORK MODEL #DP5024 MEA #69-89-E
FLOOR	ARMSTRONG STANDARD EXCELON IMPERIAL J1583 COLOR #51836
ROOF DRAIN	MANVILLE ROOFING SYSTEMS DIVISION PO BOX 5108 DENVER COLORADO 80217-5108
CEILING	"ARMSTRONG" #769A 2X4 CORTEGA MINABOARD WITH PRELUDE T-BAR GRID (WHITE)



WINDOW SCHEDULE

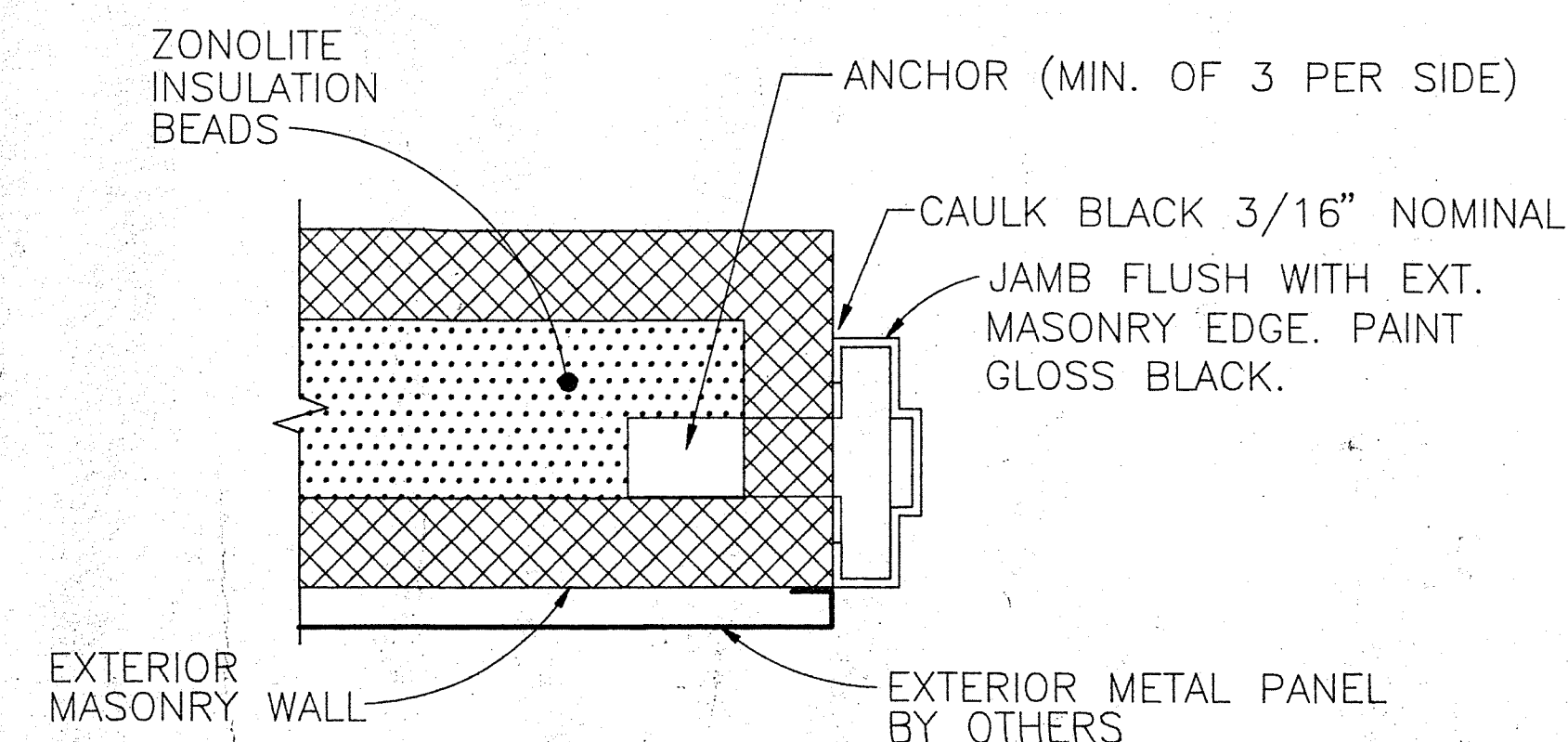
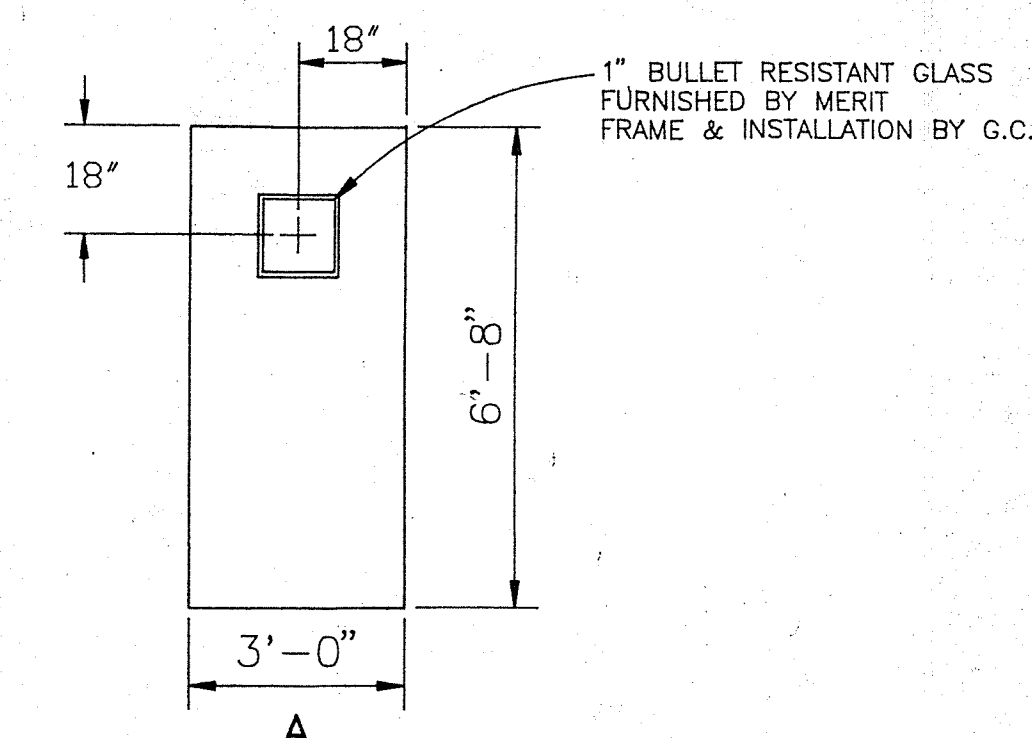
LOCATION	MASONRY OPENING	FRAME OPENING	GLASS	GLASS SIZE	FRAME MFG.	BY G.C./REMARKS
①	12" x 12" (DOOR)	TO BE MEASURED	1-1/4" BULLET RESIST.	TO BE MEASURED	451-S U.S. ALUM. CORP.	<ul style="list-style-type: none"> ALL FRAMES BLACK ANODIZED ALUMINUM STORE FRONT MATERIAL INSTALL WITH SNAP FRAME TOWARD INSIDE. FRAMES BY MERIT CONTRACTOR TO VERIFY ALL FINAL GLASS DIMENSIONS AND ADVISE MERIT PRIOR TO MERIT ORDERING GLASS MATERIAL BLACK CAULK 3/16" NOMINAL AROUND PERIMETER OF ALL FRAMES SEE FRAMING SYSTEM DWG. MS-5B
②	3'5" x 6'4" TO ACCOMMODATE (2) SIDE WINDOWS	TO BE MEASURED	1-1/4" BULLET RESIST.	TO BE MEASURED	ALU-FAB SERIES 44/250	
③ UPPER WINDOW	6'8" x 4'2" TO ACCOMMODATE FRONT UPPER & LOWER WINDOWS	TO BE MEASURED	1-1/4" BULLET RESIST.	TO BE MEASURED	ALU-FAB SERIES 44/250	
④ LOWER WINDOW		TO BE MEASURED	1-1/4" BULLET RESIST.	TO BE MEASURED	ALU-FAB SERIES 44/250	
⑤	3'5" x 6'4" (CASHIER)	TO BE MEASURED	1-1/4" BULLET RESIST.	TO BE MEASURED	ALU-FAB SERIES 44/250	

EQUIPMENT

	FURNISH	INSTALL
SAFES	O	C
HEGCO	O	C
PACKAGE UNIT	O	C
INTERCOM	O	C
TOKHEIM EQUIP.	O	C
HEALY EQUIP.	O	C
VEEDER ROOT (IF REQ'D.)	O	C
STAINLESS STL ISLAND FRM	O	C
BULLET RESIST GLAZING	O	C
BUMPER POST & RAILS	O	C
DOOR LOCKS	C	C
DOOR CLOSURE	C	C
WINDOW FRAMES	O	C
HVAC SYSTEM	C	C
INTERIOR LIGHTING	C	C
EXTERIOR DOOR LIGHTING	O	C
REST ROOM FIXTURES	C	C
DOORS	C	C
EXTERIOR METAL PANELS	O	O
SIGNS	O	O
SHELVING	C	C
DISPLAY UNITS	C	C
CASH DRAWER	O	C
VENTILATOR	C	C
EXHAUST FAN	C	C
FURNISHED BY:	O = OWNER C = CONTRACTOR	

DOOR SCHEDULE

DESIGNATION	OPENING		DOOR	FRAME		REMARKS
	WIDTH	HEIGHT	THICKNESS	MATERIAL	MATERIAL	ALUM. THRESH
			</			

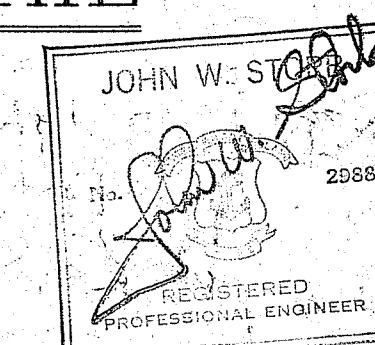


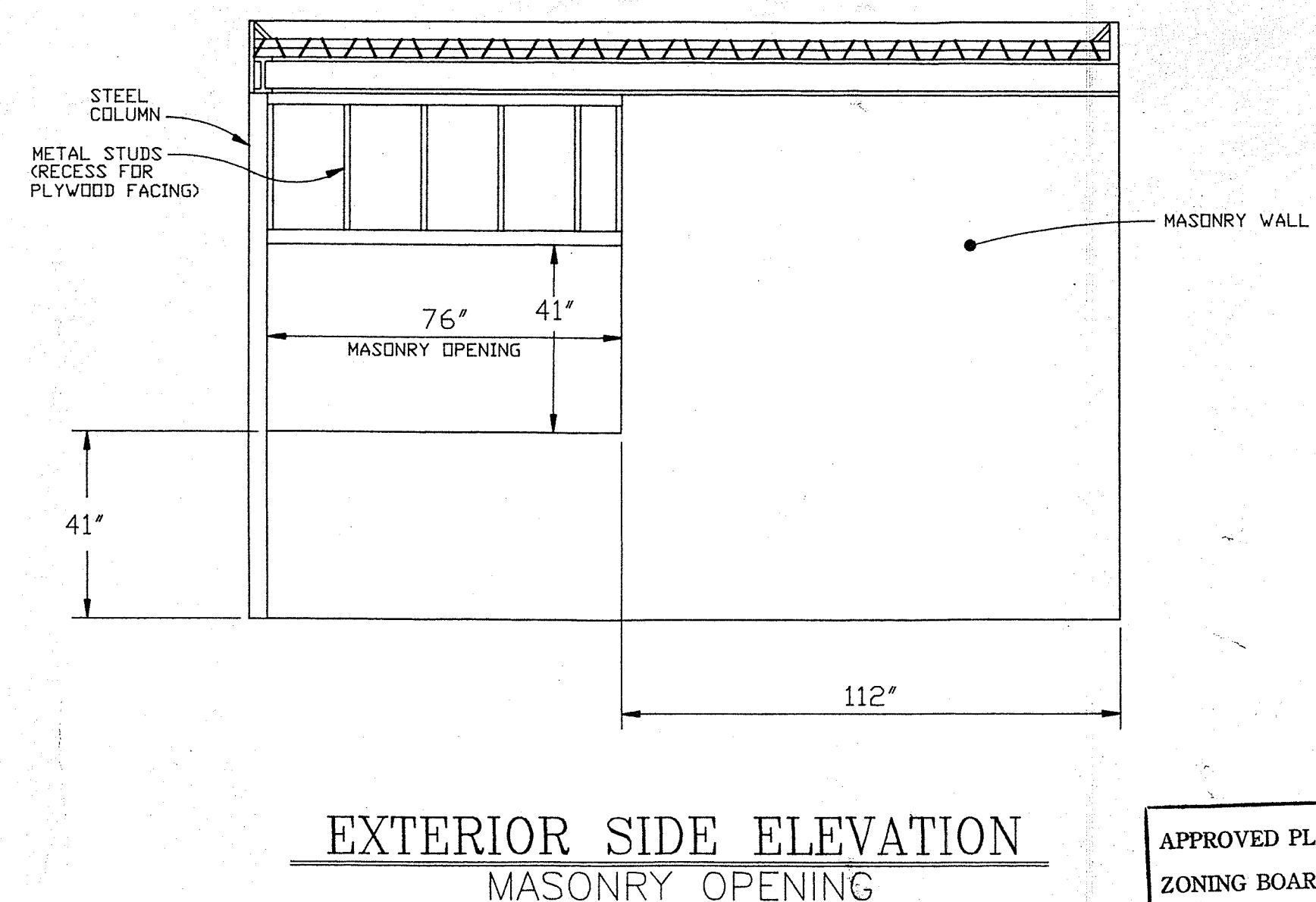
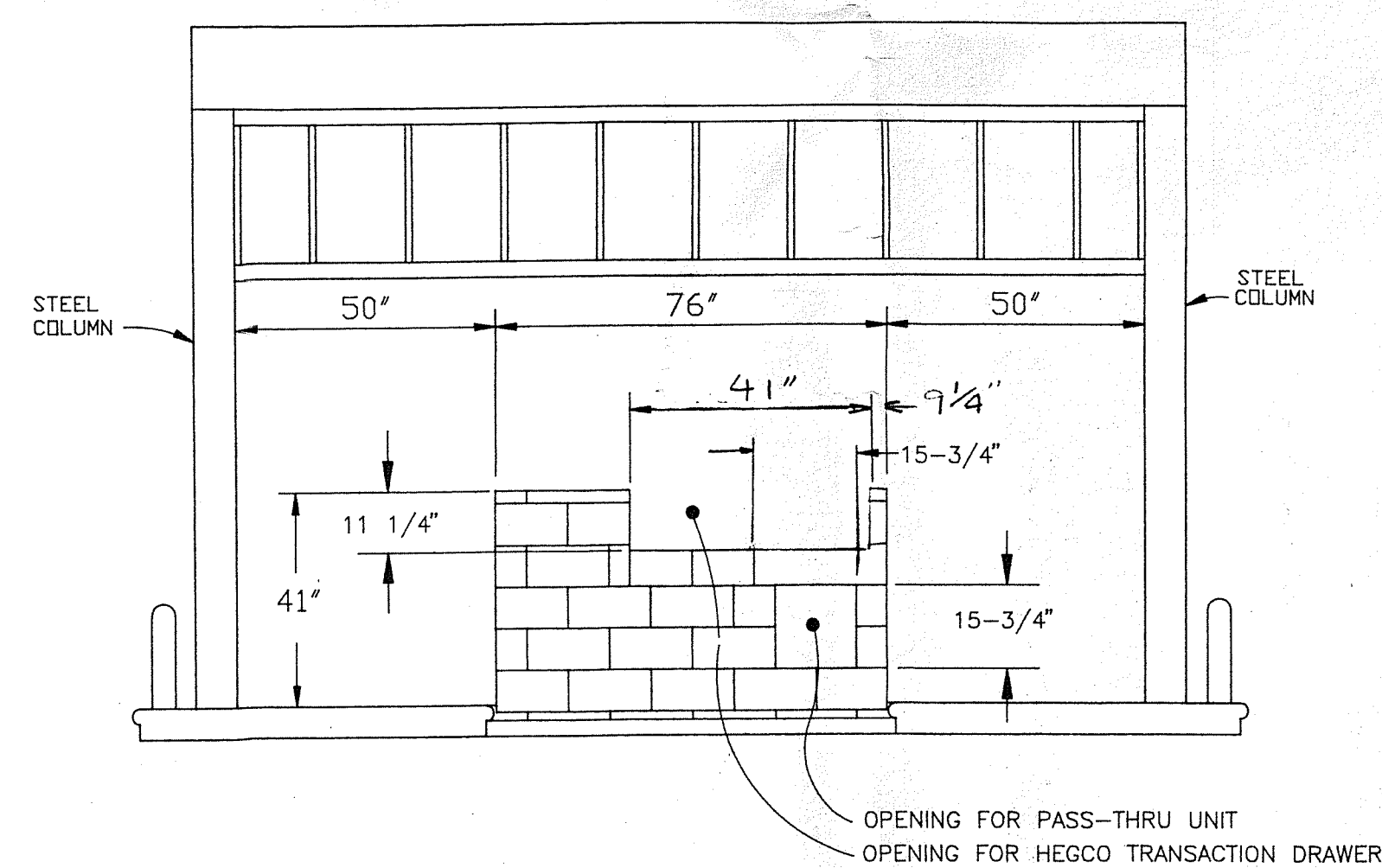
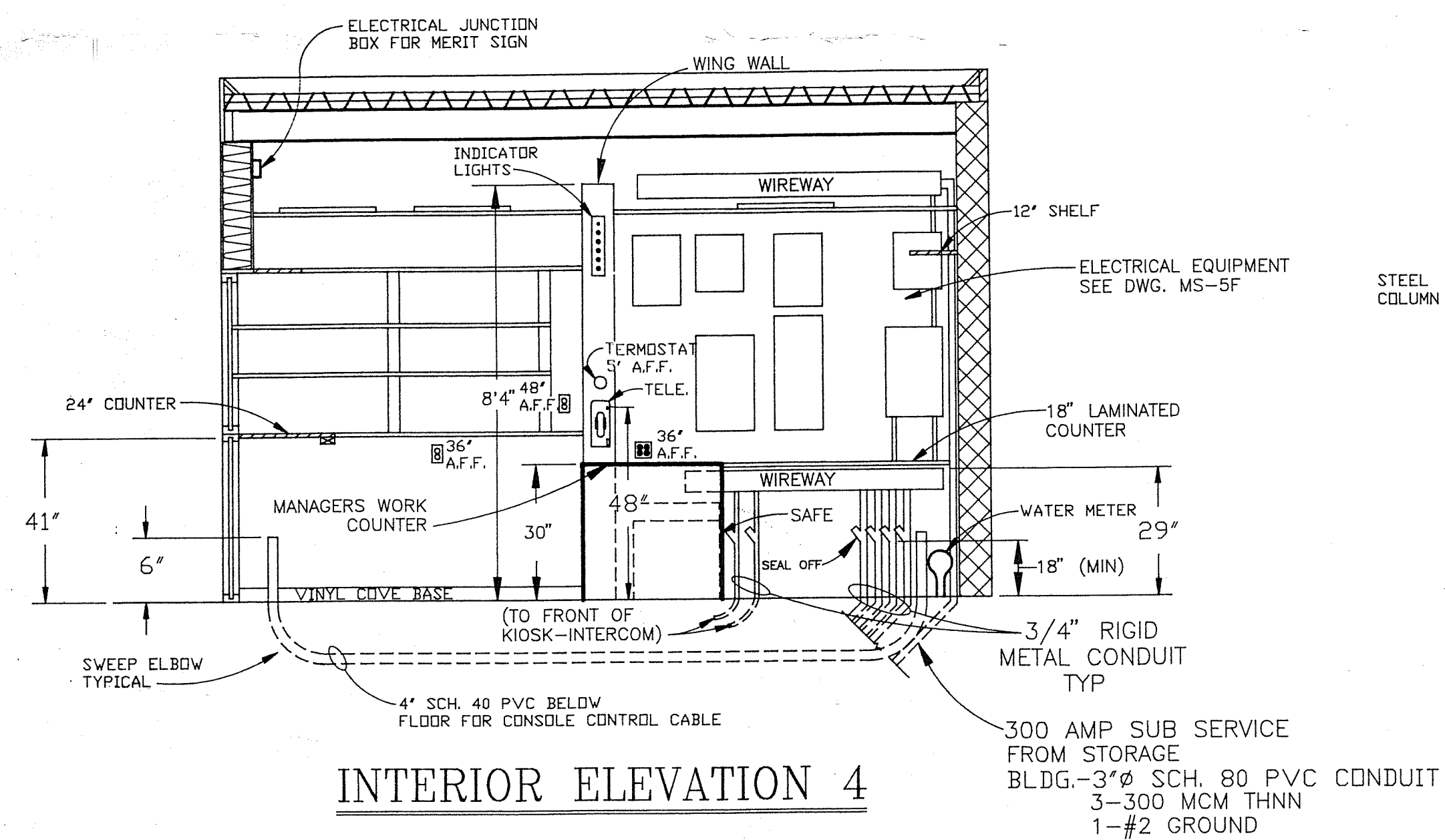
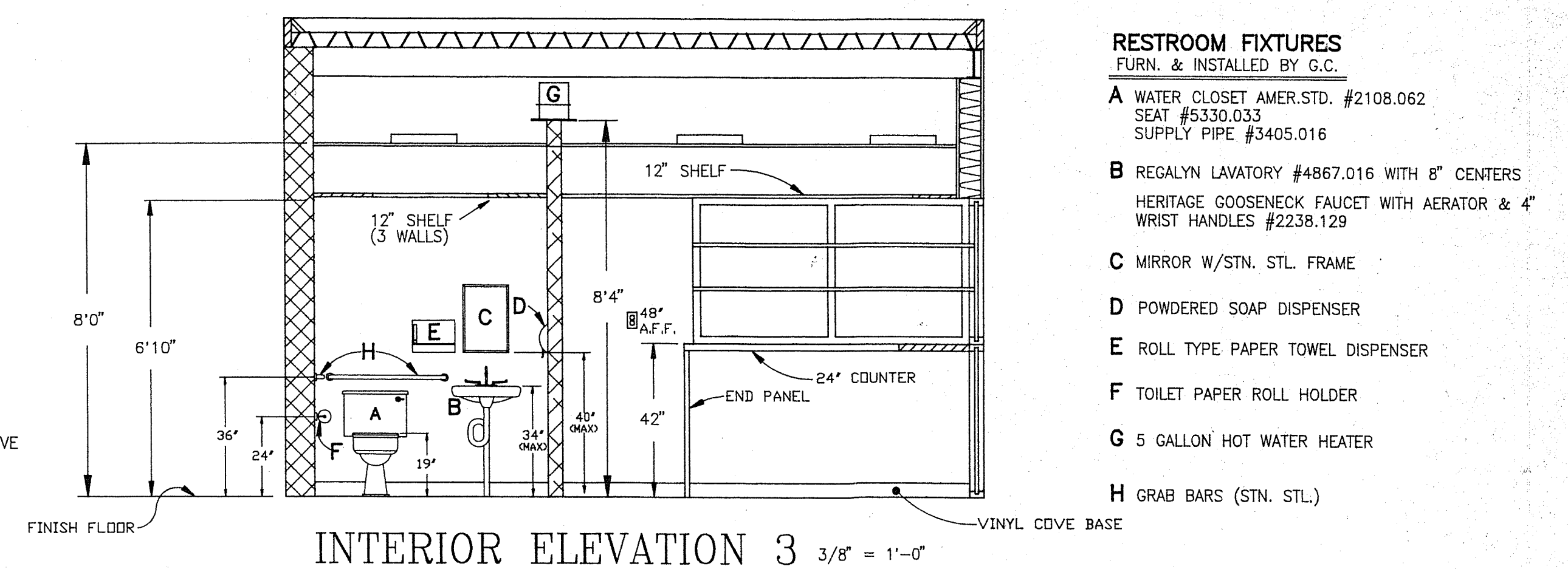
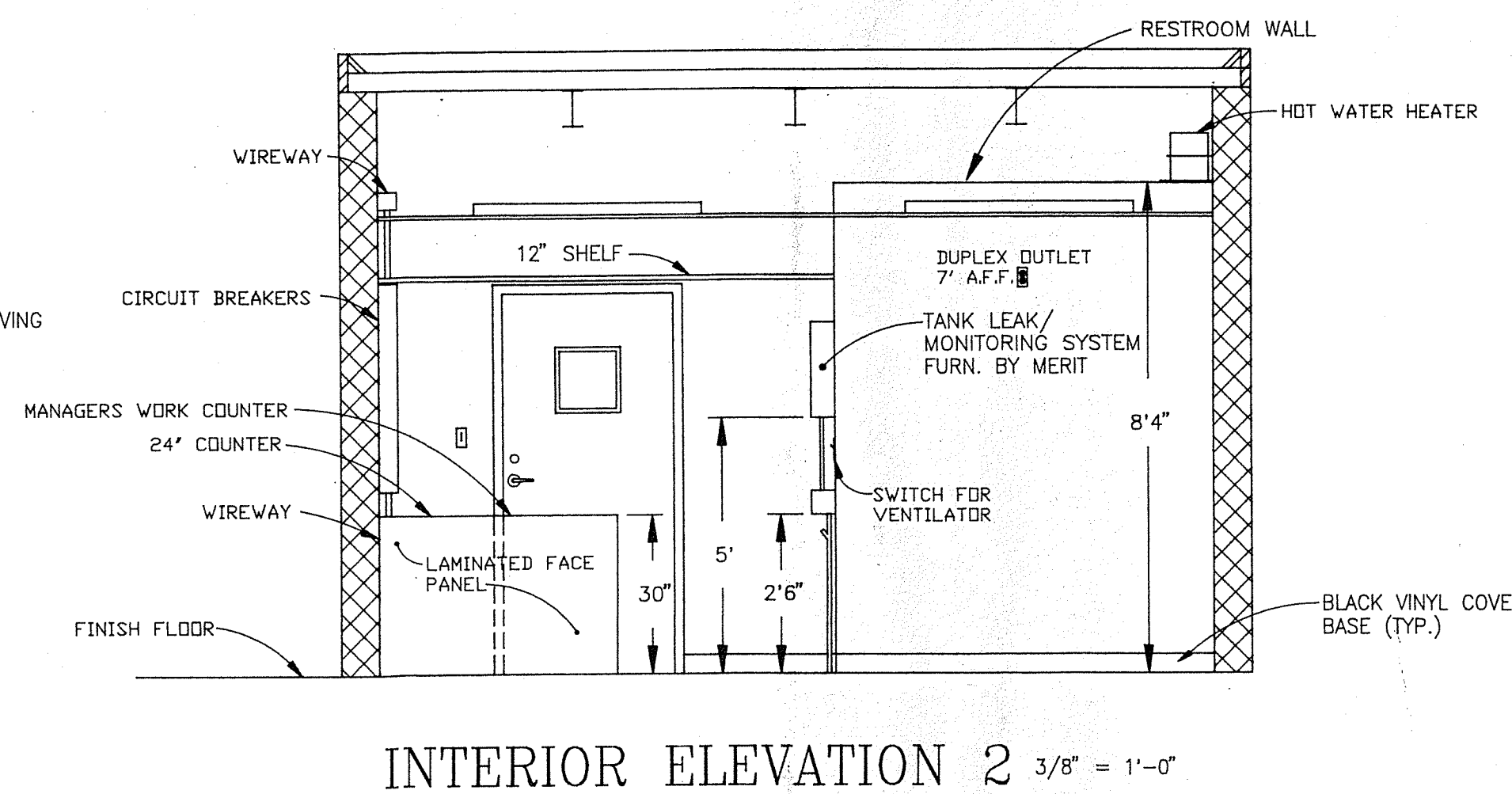
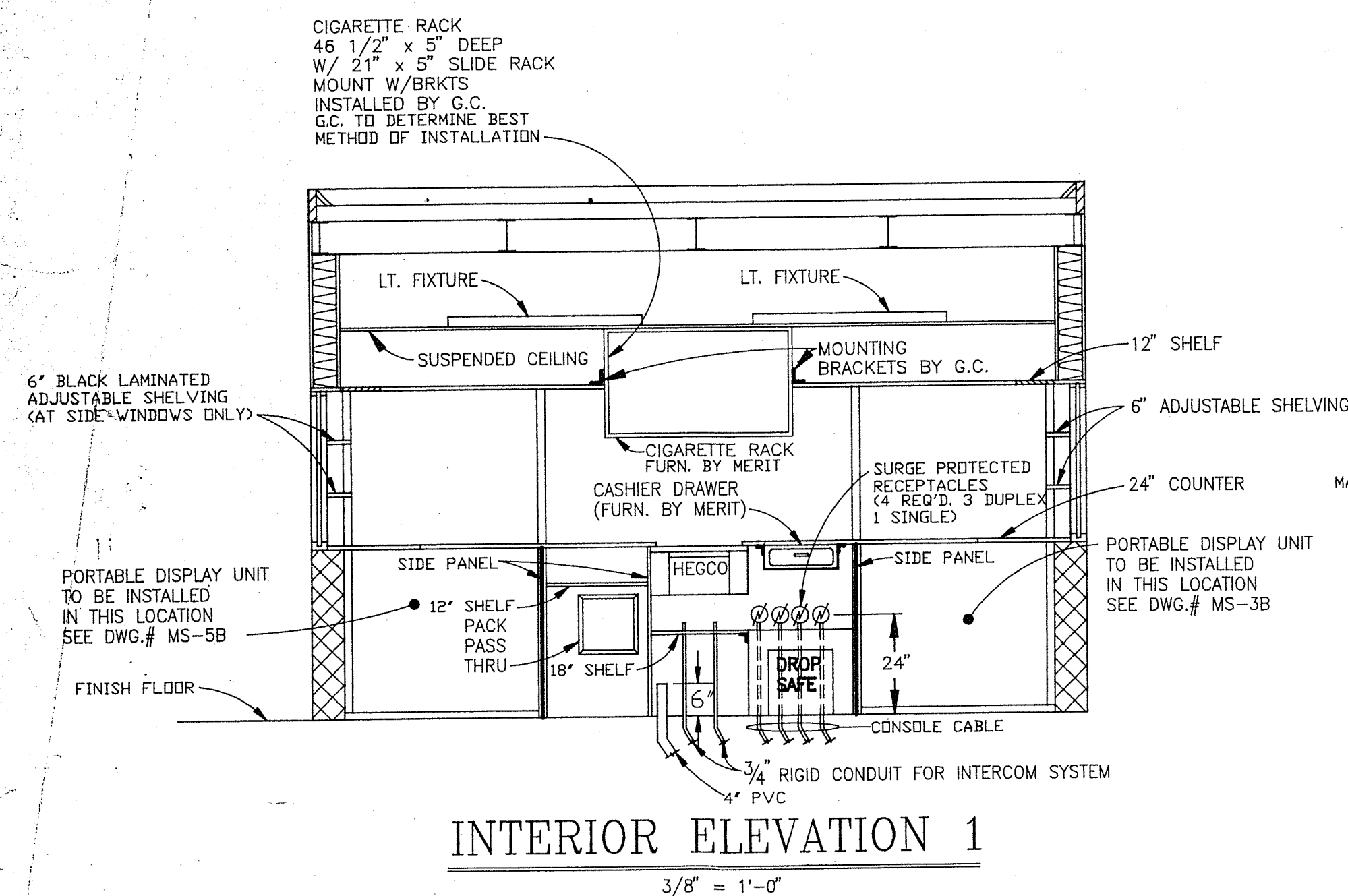
JAMB SECTION DETAIL

SCALE: 3" = 1'-0"

APPROVED PLANS
ZONING BOARD OF REVIEW
DATE 6-8-95
PAGE 10 OF 16

3			
2			
1	3/3/93	ALF	PLAN REDRAWN PER LAST REVISION #6 DATED 3/10/92
REV.NO.	DATE	BY:	DESCRIPTION
DRAWN BY:	DATE:	CWS/93	
CHECKED BY:	DATE:		
<div> </div>			
KIOSK BUILDING SCHEDULES			
DRAWING NUMBER: MS-5D SCALE: 1"=10'-0" (UNLESS NOTED)			



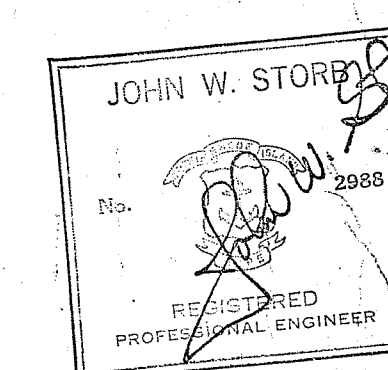


NOTE:

ALL PENETRATIONS THRU FLOOR & FOUNDATION WALL FOR THE PASSAGE OF ELECTRICAL CONDUITS AND OR PLUMBING LINES WILL BE GROUTED IN BY G.C.

ALL EQUIPMENT & MATERIALS FOR KIOSK BUILDING ARE TO BE FURNISHED & INSTALLED BY G.C. UNLESS OTHERWISE NOTED.

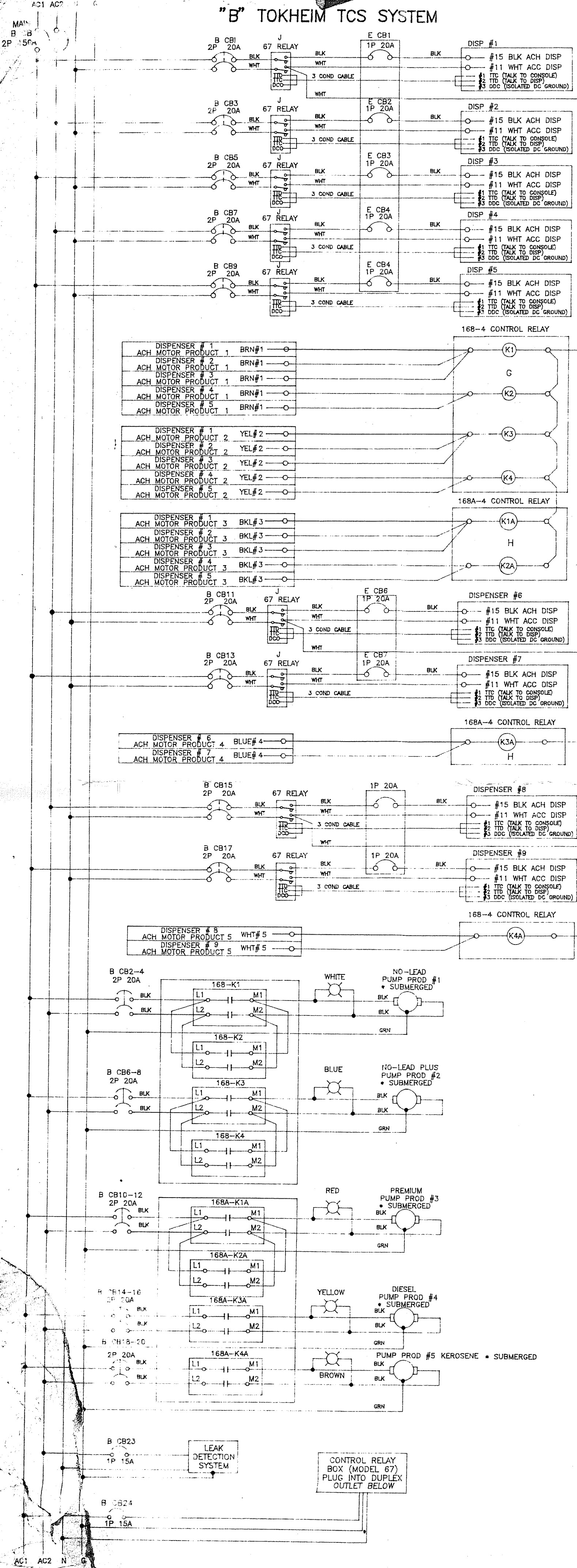
APPROVED PLANS
ZONING BOARD OF REVIEW
DATE 6-8-95
PAGE 11 OF 14



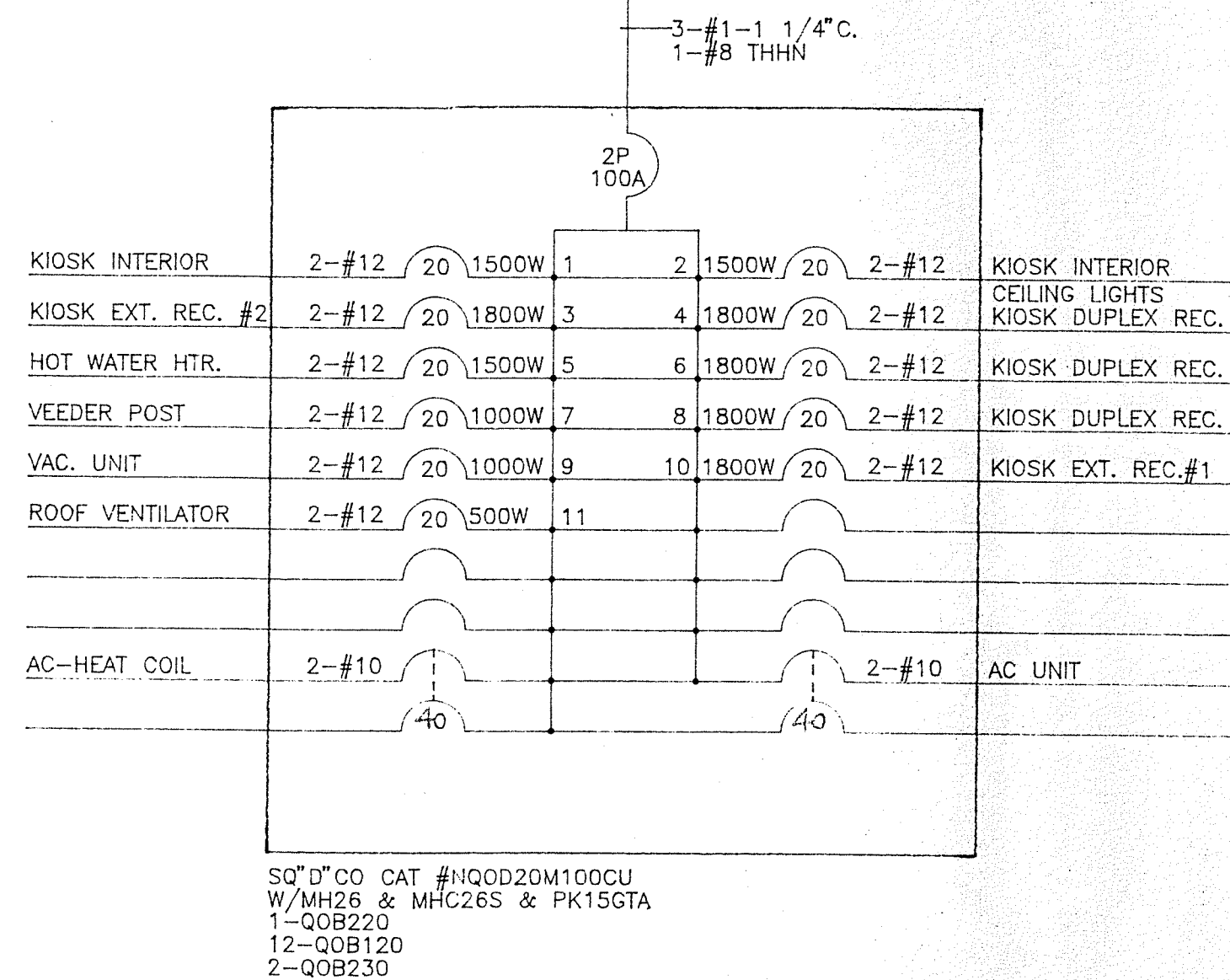
16' x 16' KIOSK
BUILDING ELEVATIONS
INTERIOR/EXTERIOR

DRAWING NUMBER
MS-5E
SCALE: 1/8" = 1'-0" (UNLESS NOTED)

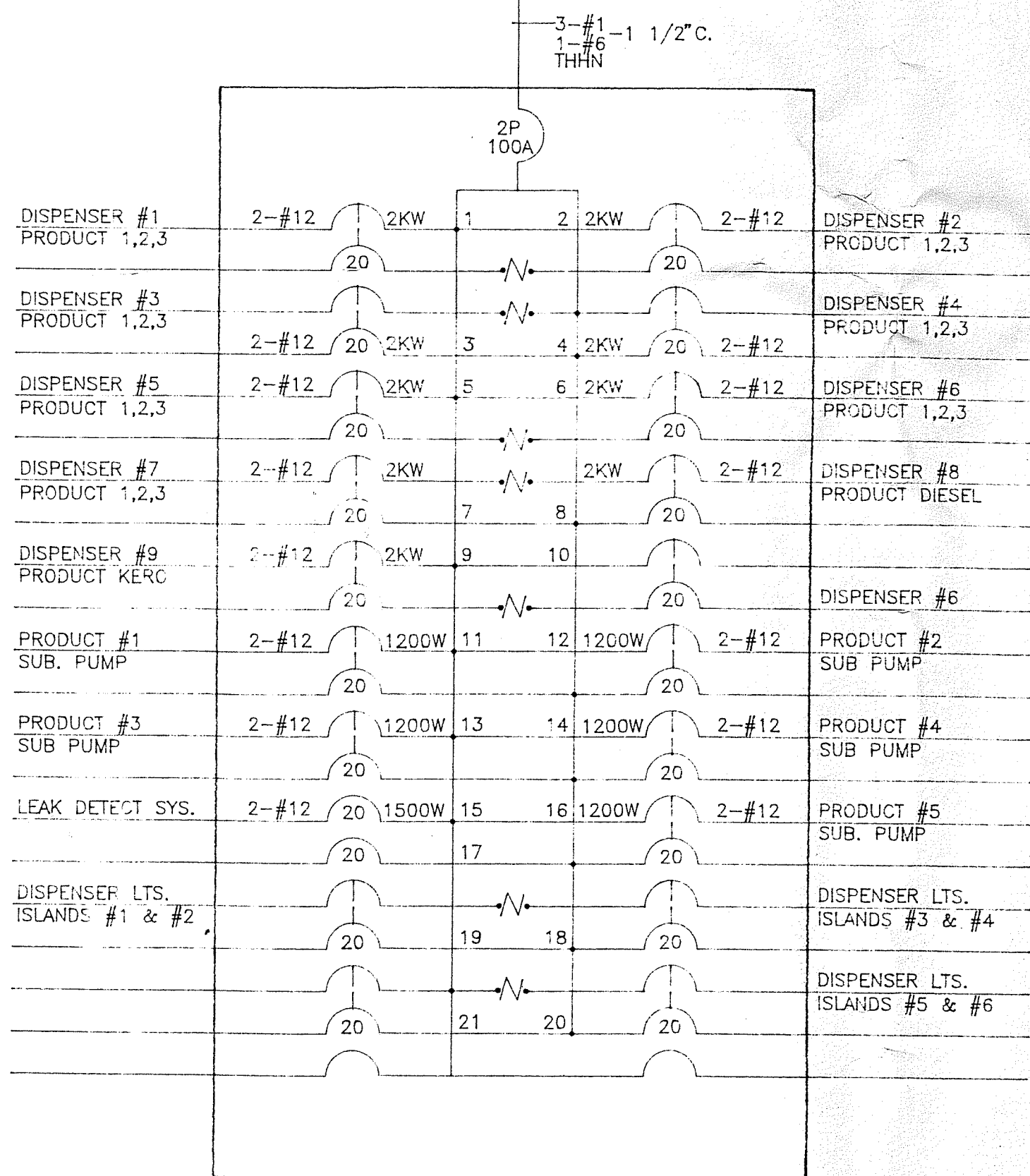
"B" TOKHEIM TCS SYSTEM



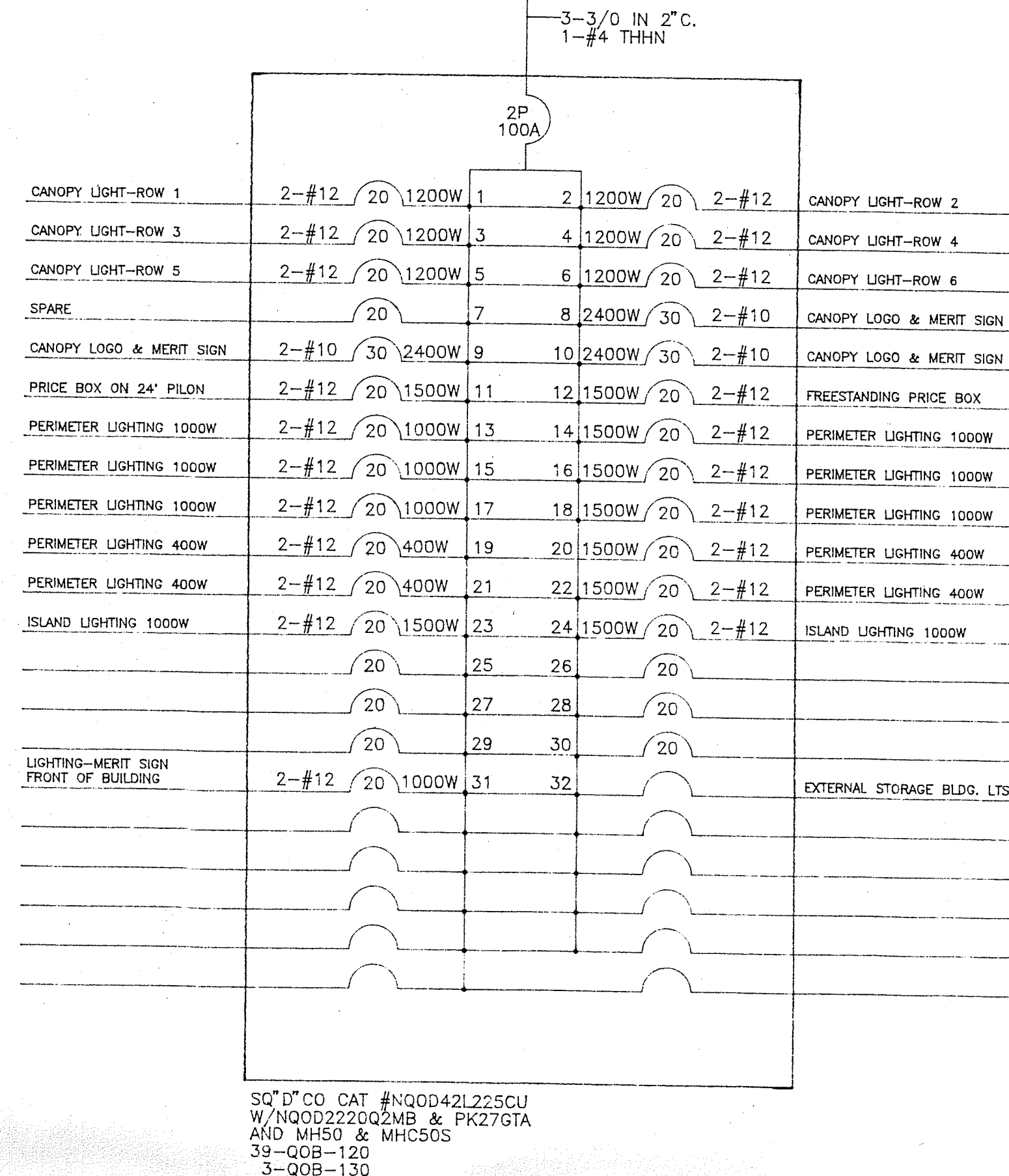
PANEL "D" KIOSK BLDG CIRCUITS



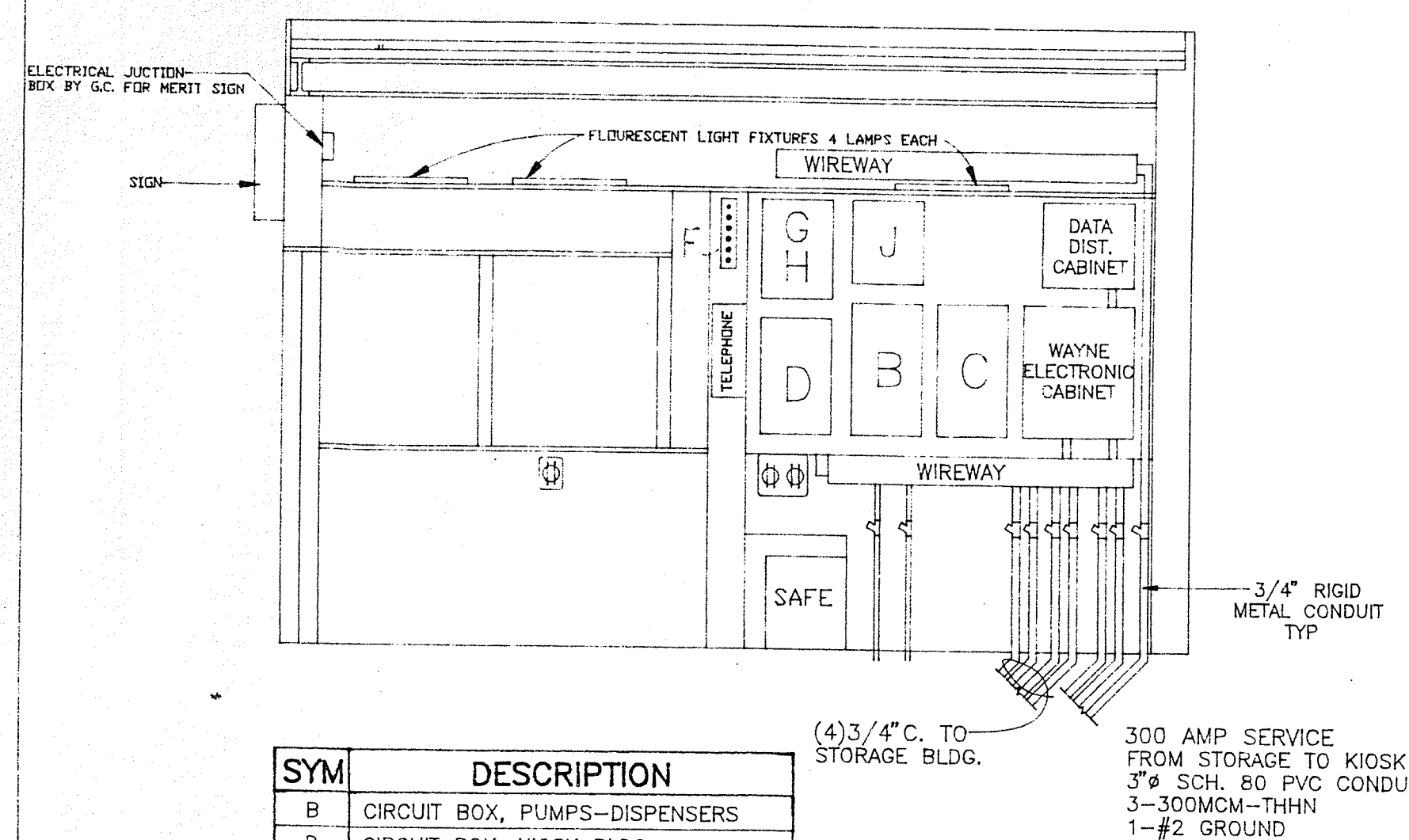
PANEL "B" DISPENSERS, PUMPS, KIOSK



PANEL "C" KIOSK BLDG. FOR SITE LIGHTS CIRCUITS



INTERIOR ELEVATION 4 - KIOSK BLDG



SYM	DESCRIPTION
B	CIRCUIT BOX, PUMPS-DISPENSERS
D	CIRCUIT BOX, KIOSK BLDG
F	DISPLAY-LIGHTS, SUBMERGED PUMPS
G	MOTOR RELAY BOX (MODEL 68)
H	MOTOR RELAY BOX (MODEL 68)
J	CONTROL RELAYS (MODEL 67)
L	(FUTURE) LEAK DETECTION SYSTEM
C	SQ. "D" CO. CAT#442L225CU
	W/NQOD 31502MB-PK27GTA
	MH-50-MHC505 39-Q0120-3Q0B130

APPROVED PLANS
ZONING BOARD OF REVIEW
DATE 10-8-95
PAGE 12 OF 16

JOHN W. STOB
2988
REGISTERED PROFESSIONAL ENGINEER

SYMBOLS LIST

SYMBOL	DESCRIPTION
	2-EAGLE 8300B DOUBLE DUPLEX RECEPTACLE 20A
	EAGLE 8300-3 DUPLEX ISOLATED GROUND 20A
	EAGLE 8300B DUPLEX RECEPTACLE 20A
	EAGLE 647-2B W/966 WP PLATE GFCI DUPLEX RECEPTACLE 20A
	WIREMOLD SURGE AND NOISE SUPPRESSION UNIT CAT.#M4G
	EAGLE 1240-5
	TYPE "A" KEYSTONE 2J440-EX-A W/4-34W-SYLVANIA #F40/0B30/5S FIX. TO HAVE ENERGY SAVER BALLAST #R2540-TP
	TYPE "B" KEYSTONE J240-EX-A W/2-34W-SYLVANIA #F40/0B30/5S FIX. TO HAVE ENERGY SAVER BALLAST #R2540-TP
	TYPE "C" LUMARK MVWL-175 W/1-1750 MV OR EQUAL USE ON STORAGE BLDG.

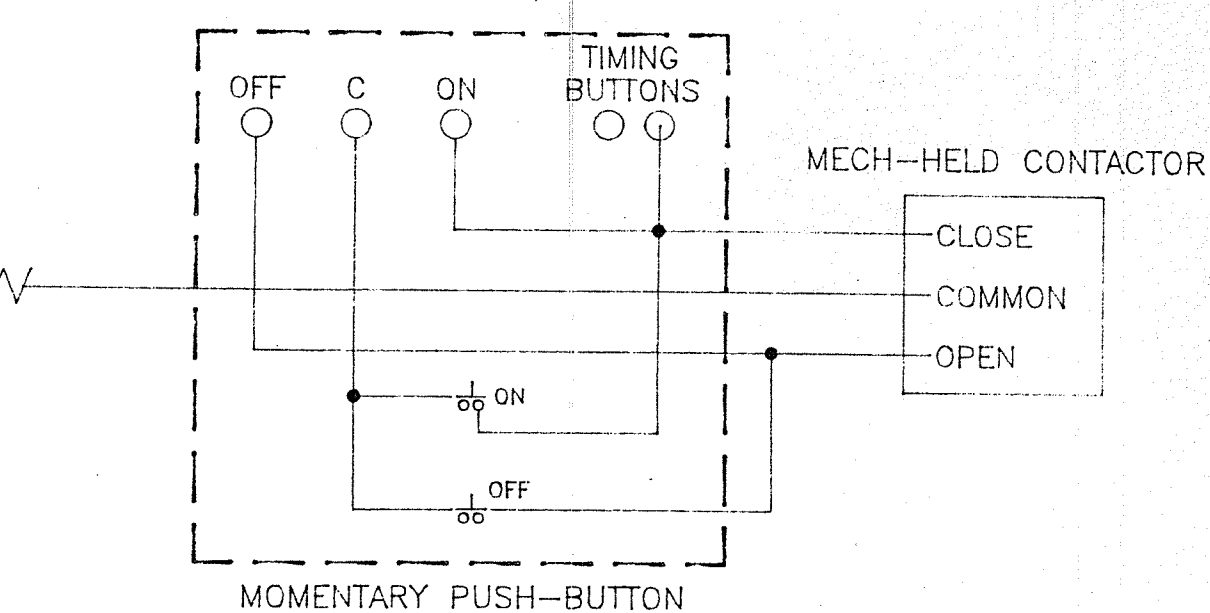
PARTS LISTING

SYM	QTY	DESCRIPTION	CATALOG NUMBER	SUPPLIER	INSTALLED BY
F	1	ENCLOSURE-PUSHBUTTON 8 POSITION	HOFFMAN OVER	G.C.	G.C.
F	5	PULLEY LIGHT XMR TYPE, BASE UNIT	ALLEN BRADLEY 800T-P26R	G.C.	G.C.
F	1	LENS FOR PILOT LIGHT, RED (PREMIUM)	ALLEN BRADLEY 800T-RED	G.C.	G.C.
F	1	LENS FOR PILOT LIGHT, GREEN (PREMIUM)	ALLEN BRADLEY 800T-GREEN	G.C.	G.C.
F	1	LENS FOR PILOT LIGHT, AMBER (PREMIUM)	ALLEN BRADLEY 800T-AMBER	G.C.	G.C.
F	1	LENS FOR PILOT LIGHT, BLUE (NO-LEAD)	ALLEN BRADLEY 800T-BLUE	G.C.	G.C.
F	1	LENS FOR PILOT LIGHT, WHITE (NO-LEAD)	ALLEN BRADLEY 800T-WHITE	G.C.	G.C.
G	1	MOTOR RELAY BOX	67 INTERFACE BOX TORHEIM	MERIT	G.C.
H	1	MOTOR RELAY BOX	67 INTERFACE BOX TORHEIM	MERIT	G.C.
J	2	CONTROL RELAYS	168-4 RELAYS TORHEIM	MERIT	G.C.
L	1	LEAK DETECTION SYSTEM	TBD	MERIT	G.C.

DISPLAY LIGHTS SUBMERGED PUMPS

SCALE 1/4"

TORK #1847AZ MOMENTARY CONTACT TIME SW



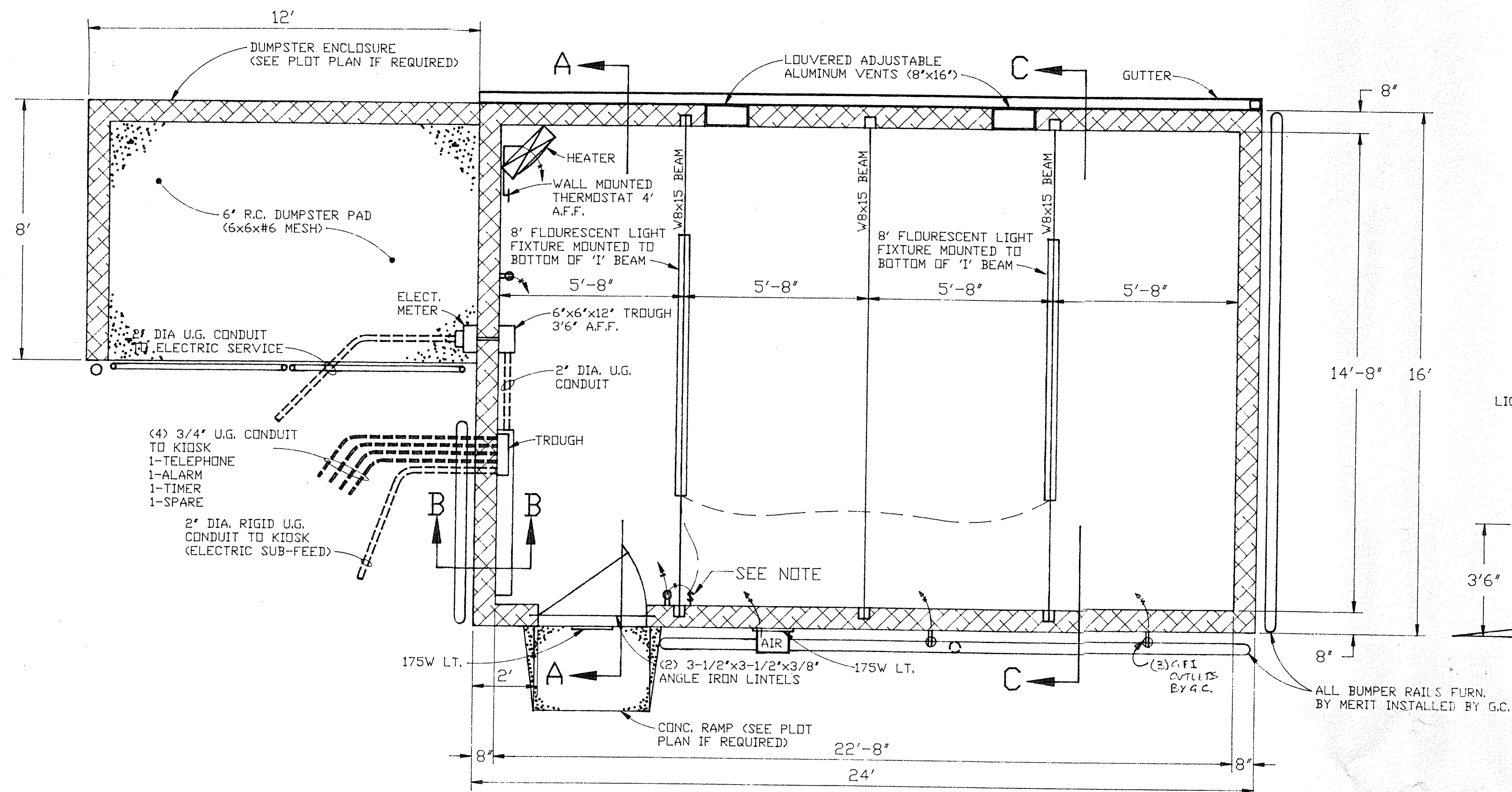
CONTROLS FOR PANEL "C"

REV.NO.	DATE	BY:	DESCRIPTION
5	4-1-93	J.M.G. STORR INC.	REVISED PANEL AND ADDED CONTACTOR ON PANEL "C"
4	3-9-92	ALF	GENERAL REVISION
3	1-10-92	J.M.G. STORR INC.	REVISED ALL PANELS AND DETAILS
2	10-01-90		GENERAL UPDATE
1	5-90	OTD/RKH	GENERAL UPDATE

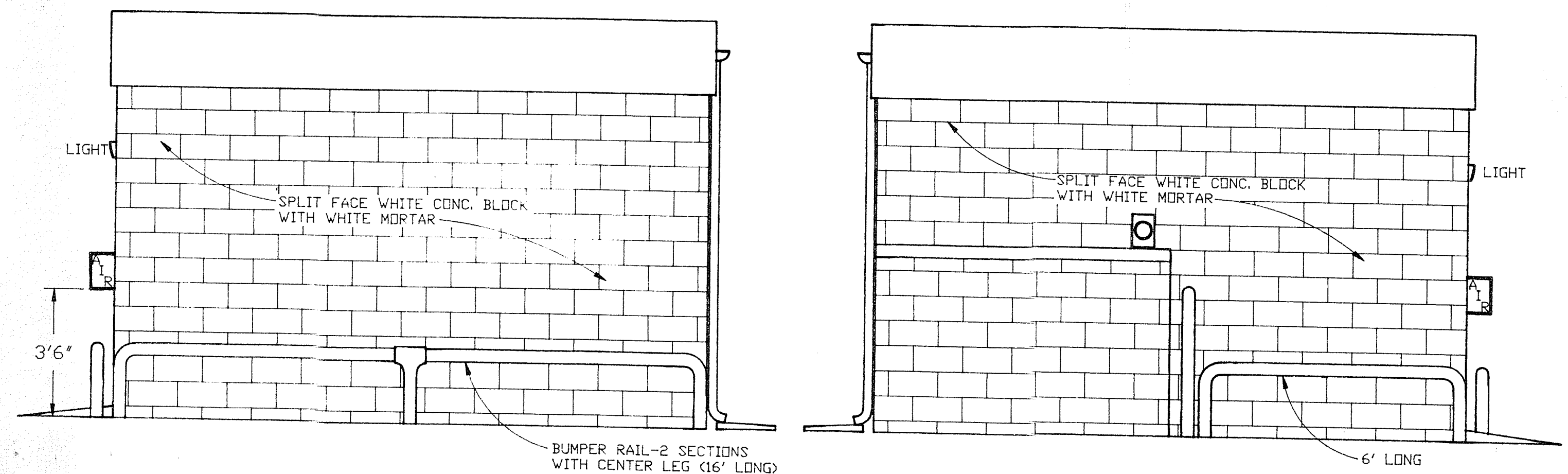
DRAWN BY: _____ DATE: _____
CHECKED BY: _____ DATE: _____

KIOSK BUILDING
ELECTRICAL DRAWING

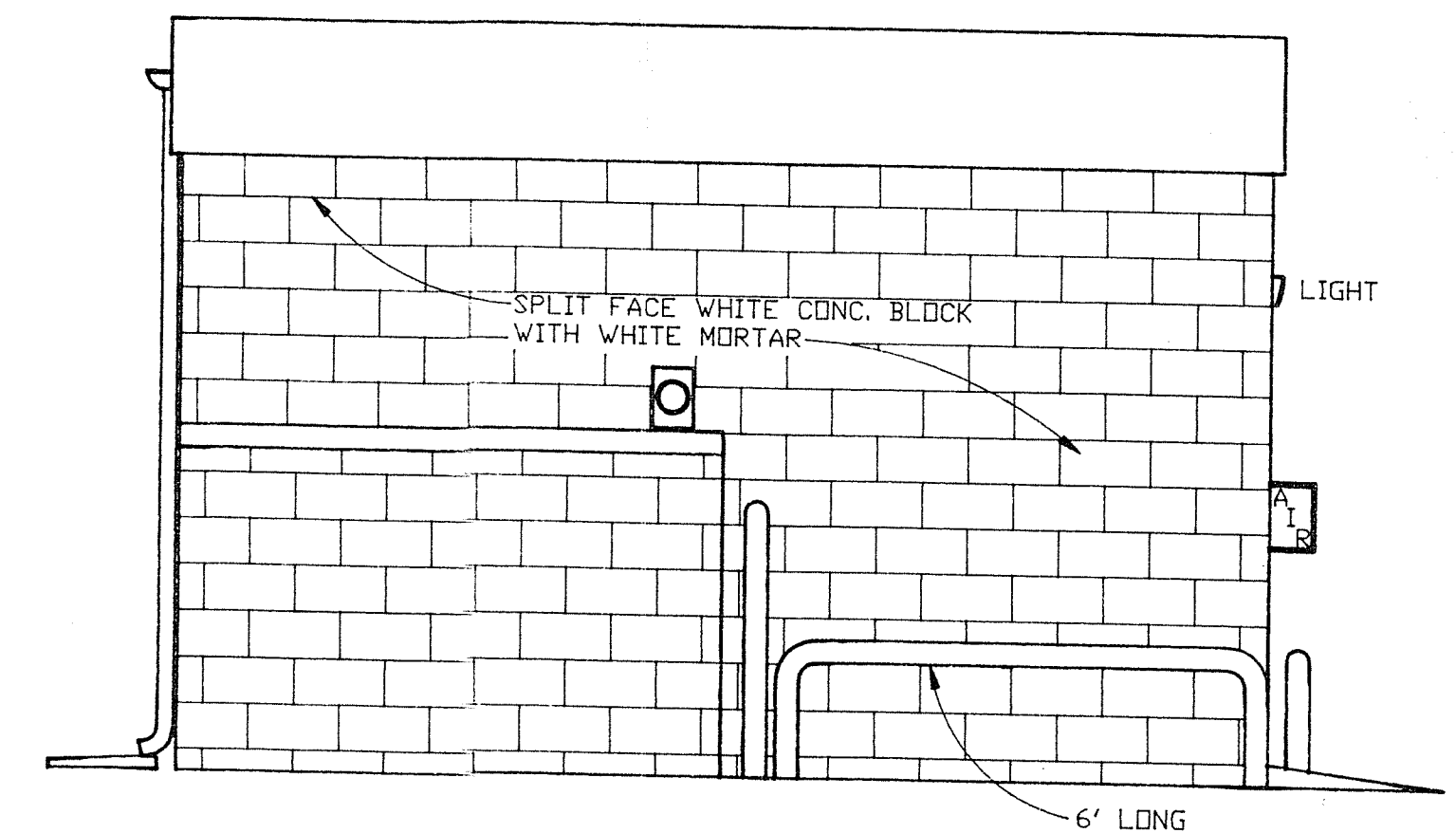
DRAWING NUMBER:
MS-5F



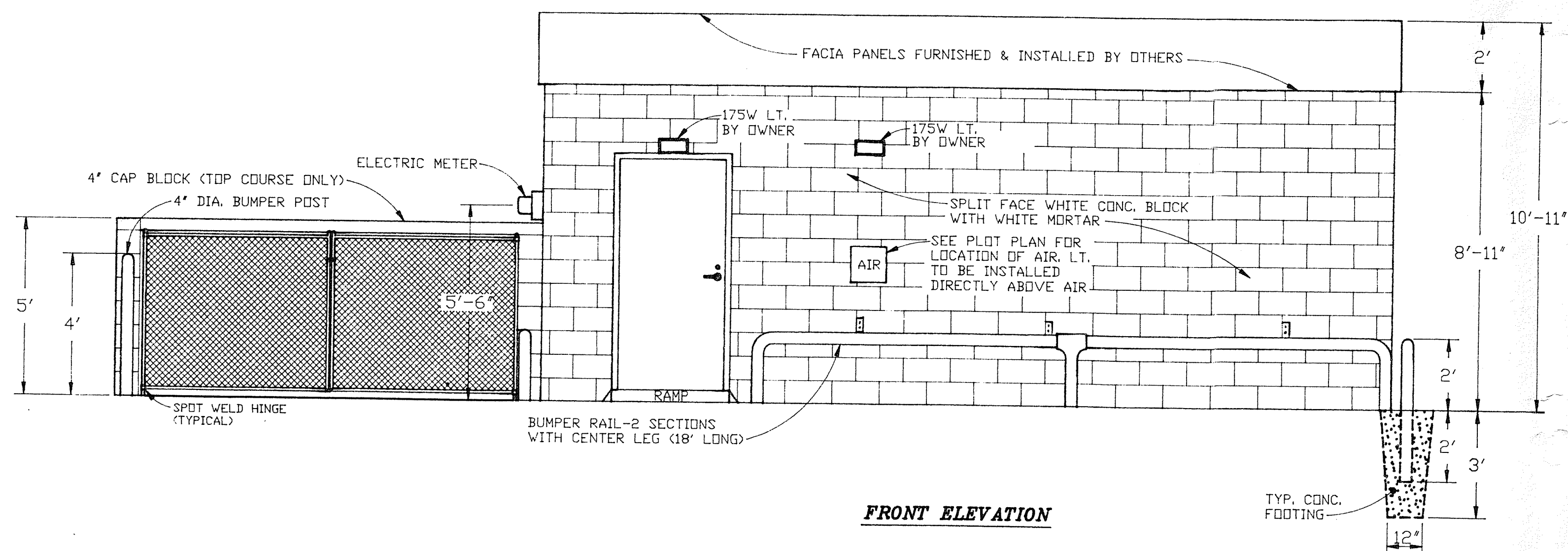
NOTE:
STORAGE ROOM LIGHTS TO BE CONTROLLED BY
ELECTRONIC CONTROL OCCUPANCY SENSOR
TORK#PS51A, ADJUSTABLE TIME DELAY 3 - 15 MINUTES.



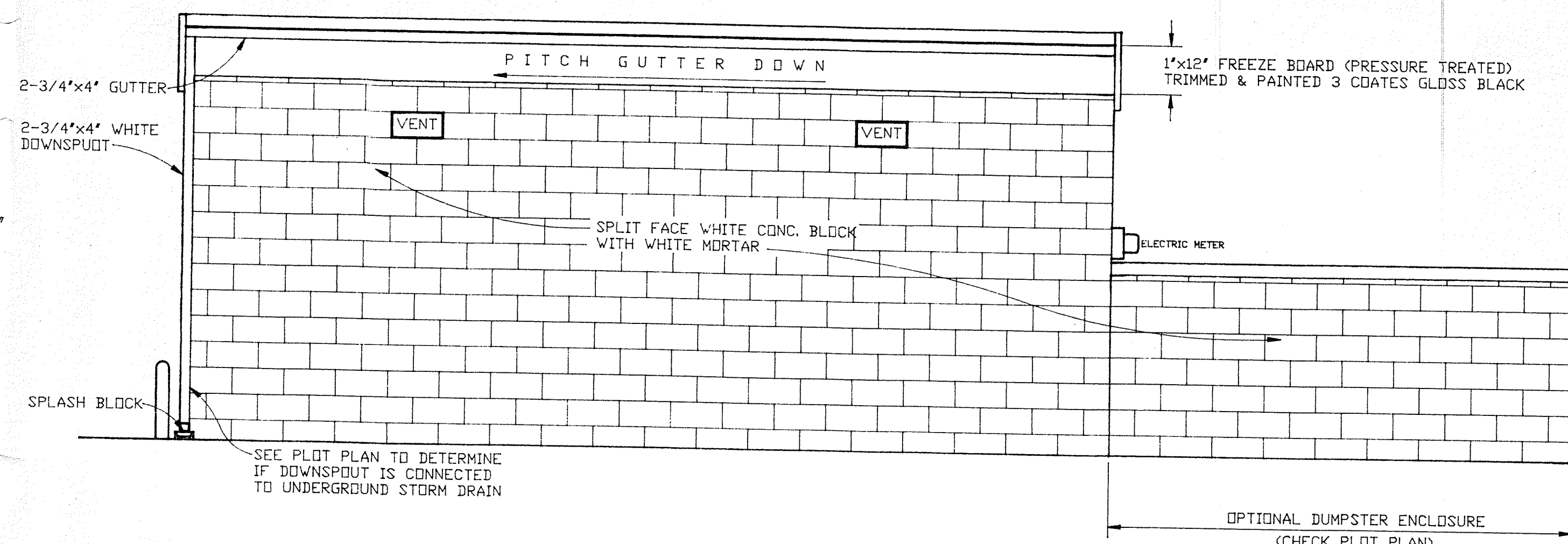
RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



FRONT ELEVATION



REAR ELEVATION

EQUIPMENT

ELECTRIC METER-PER LOCAL AUTHORITIES FURNISHED & INSTALLED BY G.C.
TWO FLOURESCENT LIGHT FIXTURES 8' LONG SYLVANIA CAT# F96T12/D835/SS LAMPS 60 WATT (SUPER SAVER)
WITH (2) KEYSTONE CAT# CH296 W/ R2E75-S-TP ENERGY SAVER BALLAST.


CHROMALUX ELECTRIC HEATER MODEL# LUH-05-21 W/ LUH-TK-2 MOUNT IN SIDE OF HEATER SET @ 55" WITH REMOTE WALL MOUNTED THERMOSTAT, 13,661 BTU/HR AT 310 C.F.M.. 240V., 10 60Hz., ADJUSTABLE AIR DIRECTION, 5KW CAPACITY. FURNISHED & INSTALLED BY G.C.


CHROMALUX ELECTRIC HEATER MODEL# LUH-05-21 W/ LUH-TK-2 MOUNT IN SIDE OF HEATER SET @ 55° WITH REMOTE WALL MOUNTED THERMOSTAT, 13,661 BTU/HR AT 310 C.F.M., 240V., 10 60Hz., ADJUSTABLE AIR DIRECTION, 5KW CAPACITY. FURNISHED & INSTALLED BY G.C.

WHITEWAY CUTLASS LUMINAIRE WITH 175W DELUXE EAGLE EG175SMH FURNISHED BY MERIT & INSTALLED BY G.C.

WHITEWAY CUTLASS LUMINAIRE WITH 175W DELUXE EAGLE EG175SMH FURNISHED BY MERIT & INSTALLED BY G.C.

APPROVED PLANS
ZONING BOARD OF REVIEW
DATE 6-8-95
PAGE 13 OF 14

JOHN W. STORKE
No.  2988
REGISTERED
PROFESSIONAL ENGINEER

3	10-7-74	ALF	ADDED AFI OUTLETS FS BLDG EXT.
2	4/01/99	JMG (STORR INC)	CHANGED ELECT. HEAT AND REVISED LIGHTING FIXTURE.
1	3/10/92	ALF	GENERAL REVISION
REV. NO.	DATE:	BY:	DESCRIPTION
DRAWN BY: <u>ALF</u> DATE: <u>3/10/92</u>			<p align="center">16' x 24' STORAGE BUILDING WITH OPTIONAL DUMPSTER ENCLOSURE FLOOR PLAN & ELEVATIONS</p> <p align="center">SCALE: 3/8"=1'-0"</p>
CHECKED BY: _____ DATE: _____			
			<p>DRAWING NUMBER: MS-6 SCALE: 1"=10'-0" (UNLESS NOTED)</p>

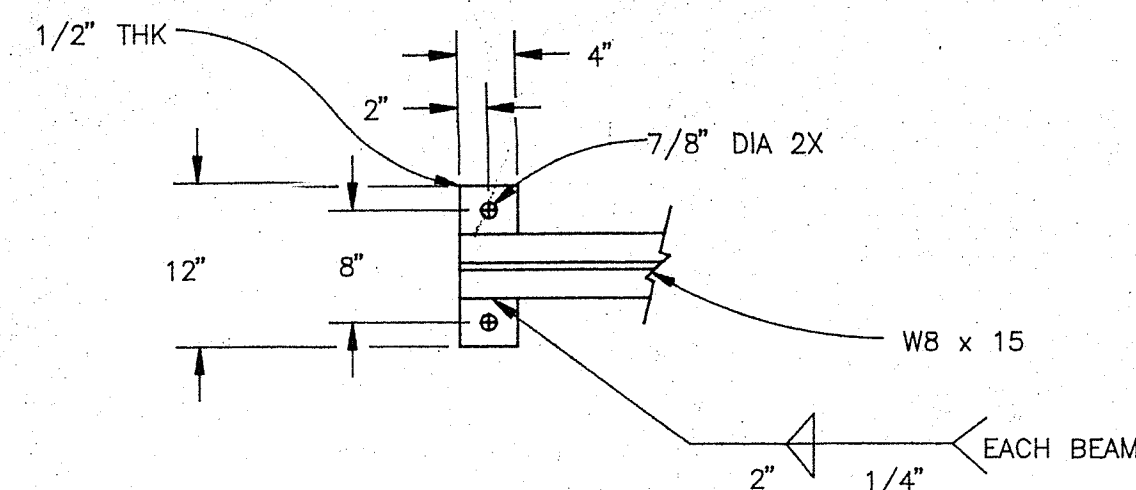
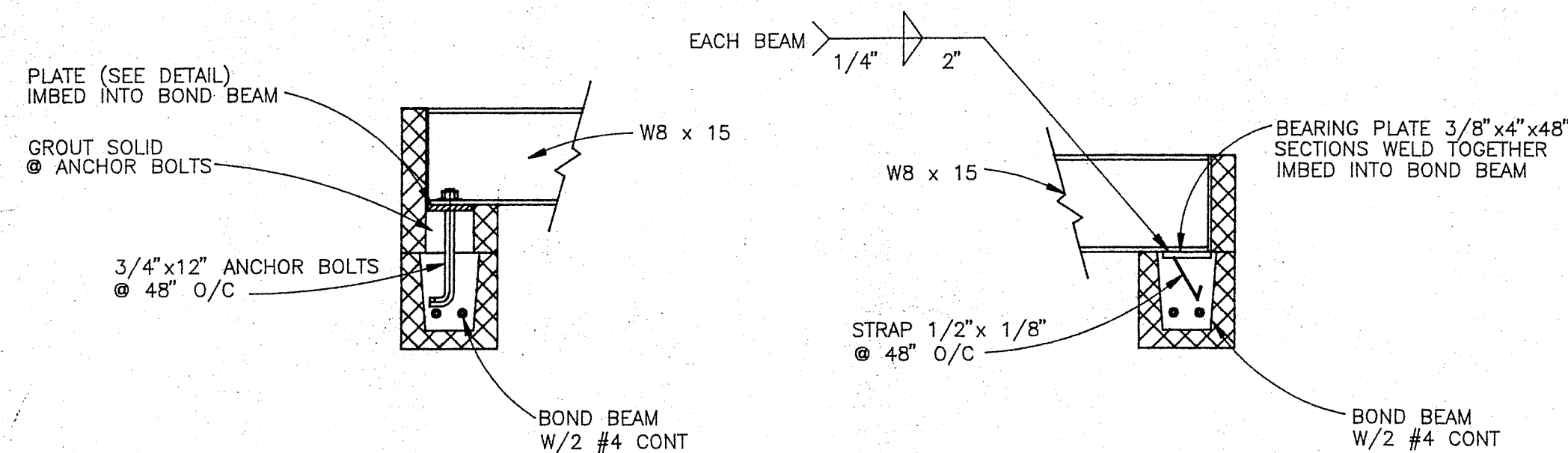
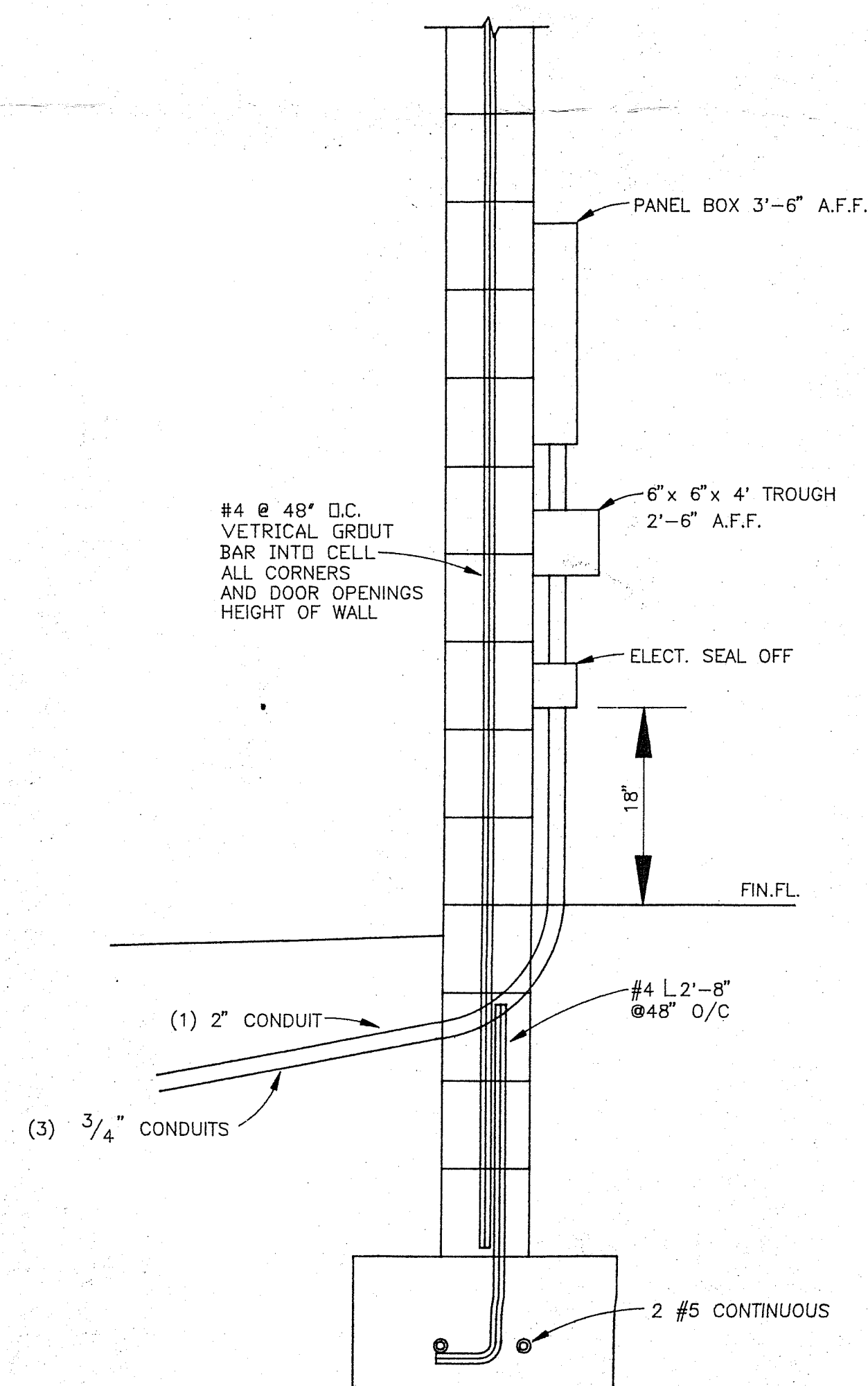


PLATE DETAIL



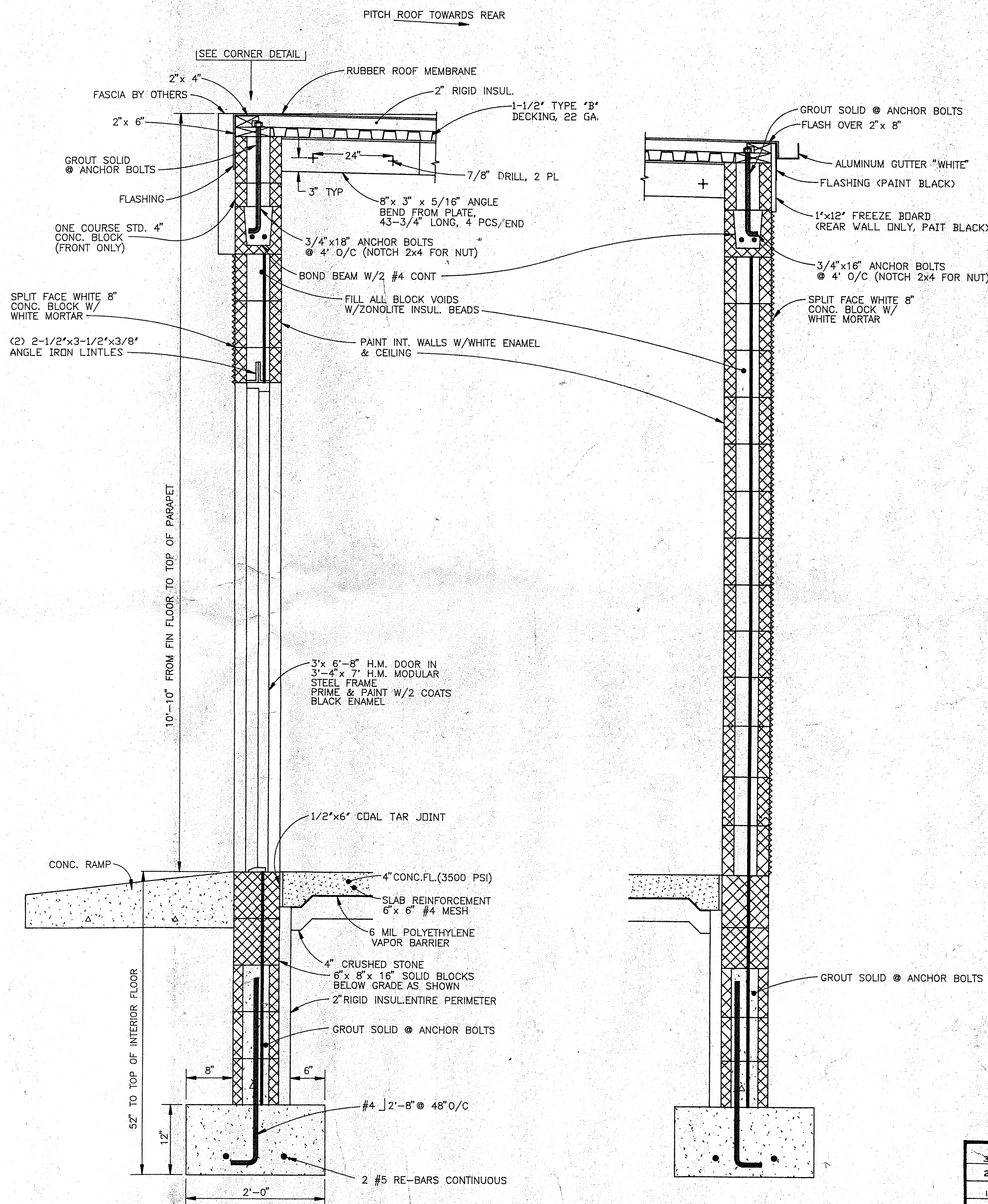
SECTION C-C

SCALE 1" = 1'-0"



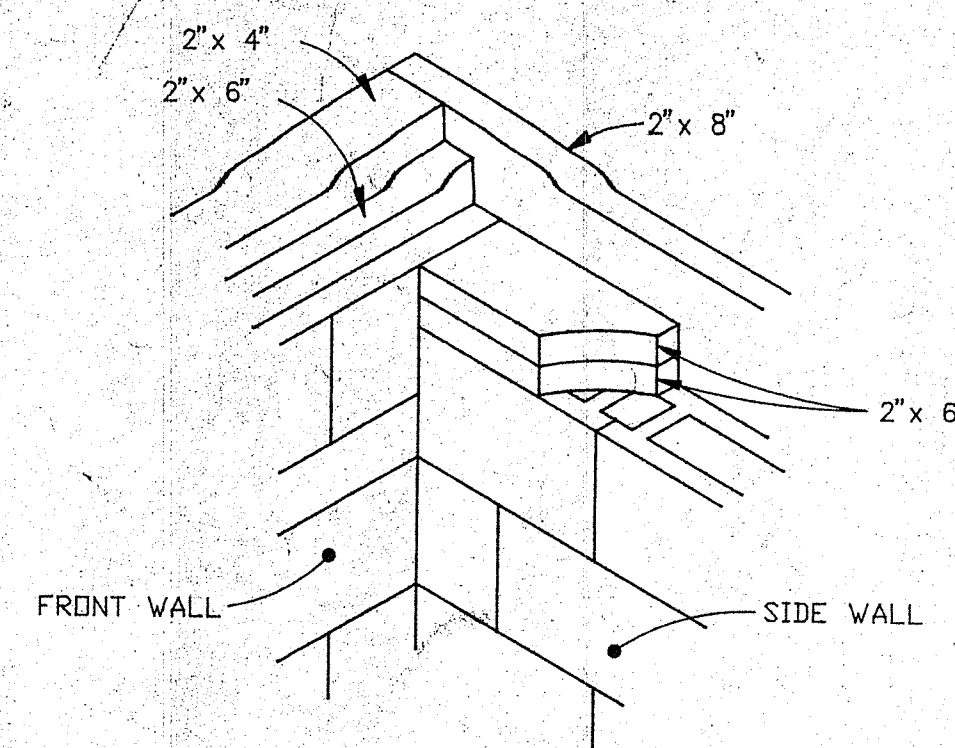
SECTION B-B

SCALE 1" = 1'-0"



SECTION A-A

SCALE 1" = 1'-0"



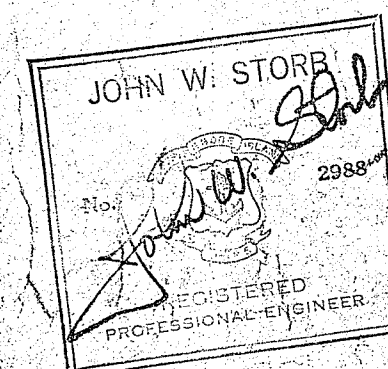
CORNER CONNECTION DETAIL

SCALE 1" = 1'-0"

DESIGN LOADS	
ROOF:	LIVE LOAD = 30 PSF (INCLUDES SNOW) DEAD LOAD = 10 PSF
SNOW:	BASE (GROUND) LOAD = 25 PSF IMPORTANCE FACTOR = x1.0 EXPOSURE FACTOR = x0.7 18 PSF
WIND:	WIND SPEED = 90 MPH EXPOSURE = B IMPORTANCE FACTOR = 1.05 BASIC WIND FORCE = 15 PSF WIND PRESSURE COEFFICIENTS: WINDWARD = 0.8 LEEWARD = -0.5 ROOF = -0.7
SEISMIC:	Z = 0.375 (ZONE 2) J = 1.0 K = 4.0 (UNREINF. MASONRY) CS = 0.12

APPROVED PLANS
ZONING BOARD OF REVIEW
DATE 6-8-95
PAGE 14 OF 16

REV. NO.	DATE	BY	DESCRIPTION
1	ALF	3/7/92	GENERAL REVISION
2			
3			
DRAWN BY: <u>ALF</u> DATE: <u>1/92</u>			
CHECKED BY: <u>DATE:</u>			
STORAGE BUILDING DETAILS & SECTIONS			
DRAWING NUMBER: MS-6A			
SCALE: 1"=10'-0" (UNLESS NOTED)			



SCOPE OF WORK

- Contractor shall contact Power Company before starting construction to verify type of service available. Approved C.T. cabinets and service entrance. Contractor shall verify ground fault load with Power Company and make equipment provisions as necessary.
- Unless otherwise indicated, no underground conduit shall be smaller than 3/4". Minimum size of conduit to each dispenser shall be 1" - All conduit to be galvanized rigid conduit at a minimum depth of 12" below grade.
- All Electrical and Telephone Services shall be run underground - SCH-80 PVC conduit may be used - minimum depth of 24" below grade. Contractor shall install empty PVC conduit to kiosk from pole. Contractor to contact Telephone Company for location and size of conduit.
- All convenience outlets shall be mounted 24" above the floor unless otherwise noted.
- All switches mounted 4' - 6" above the floor unless otherwise noted.
- All weatherproof boxes shall be type F.S.
- Electrical Contractor shall balance load between phases at time of final inspection.
- Electrical Contractor shall prepare As-Built Drawings at time of final inspection.
- All wiring in underground conduits shall be THHN Stranded copper.
- All wiring shall comply with latest N.E.C. and Local Codes.
- Contractor to secure all State and Local Permits.
- Contractor shall furnish to Owner a Certificate of Inspection from the Electrical Association of Fire Underwriters at completion of job.
- The Electrical Contractor must indicate the breaker layout by attaching a Schedule on the inside of each panel or along side of each breaker per N.E.C.
- The Electrical Contractor is to furnish all materials, tools and labor necessary for a complete electrical installation. All electrical equipment furnished by others shall be installed and connected by the electrical Contractor unless specifically noted otherwise.
- Any material or workmanship furnished by Contractor which proves to be defective before the installation has been in operation for a period of one year shall be replaced or repaired by Contractor at his expense.
- Merit to supply submerged pumps, dispensers, 168 control relays, 67/67A pump motor relays.
- General Contractor to provide a 4 x 4 junction box for all sign lighting with 18" of wire for hookup.
- General Contractor to provide main disconnect and C.T. Cabinet per Local Utility requirements (locate in storage shed) and all power and lighting panel.
- All grounding shall be as per latest N.E.C. ART. 514 250 and Local and State Codes.
- All empty conduits shall be installed with pull strings.
- All D.C. wires to be minimum #18 Stranded AWG. See Diagrams for colors.
- Motor leads and power distribution leads to be run in separate conduit from D.C. control wiring and sound system wires.
- All A.C. hot wires to be black, red. AC neutral wires white, AC ground wires green.
- Where State of Local Codes required a Emergency Shut-Down Controls Panel "B" shall have a shunt trip on main circuit breaker and control by Allen Bradley 800H-HAM79 with jumbo mushroom handstop engraved emergency stop located as directed by Code Contractor.

NEW YORK CITY ONLY

- NY 1 - All work to be done in accordance with NYC Electrical Code.
- NY 2 - Contractor shall file for and obtain the required permits for the electrical work from the NYC Fire Department and NYC Bureau of Gas and Electricity.
- NY 3 - Contractor shall provide Owner with Electrical Certificate from NYC Bureau of Gas and Electricity and required letter of Electrical Inspection from NYC Fire Department.

APPROVED PLANS
ZONING BOARD OF REVIEW
DATE 4-8-95
PAGE 15 OF 16

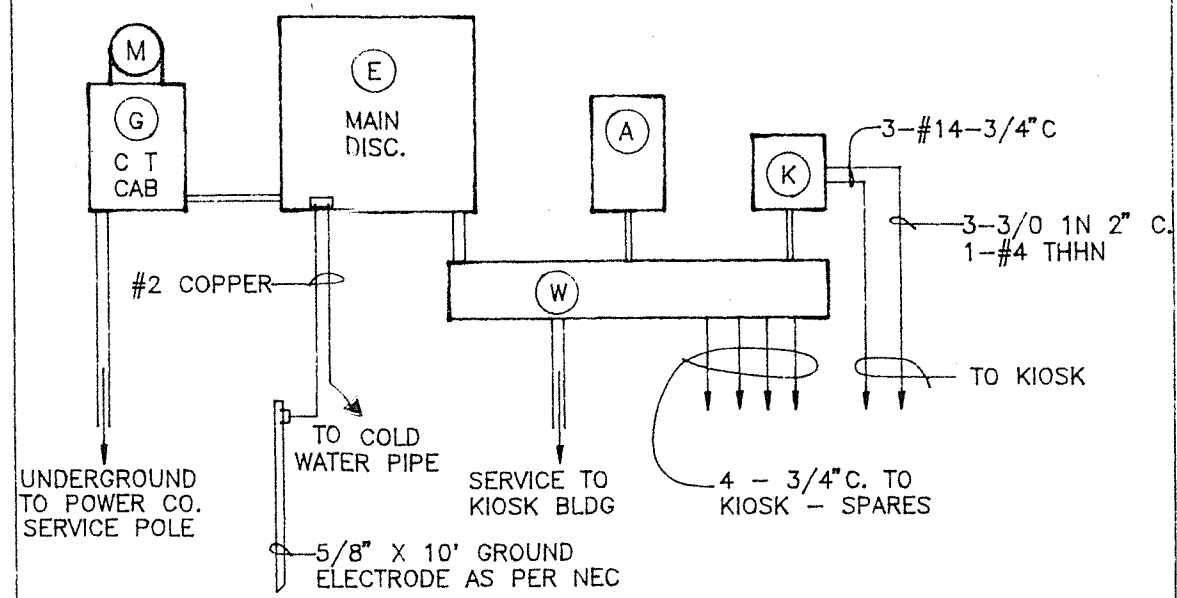
REV. NO.	DATE	BY	DESCRIPTION
3			
2	4-1-93	J.M.G. STORB INC.	CONTRACTOR CHANGE PANEL C TO STORAGE BUILDING AND ADD SPARE CONDUIT.
1	1-10-92	J.M.G. STORB INC.	REVISED ELECTRICAL SERVICE AND PANELS
DRAWN BY: A.S. DATE: 1-06-92			
CHECKED BY: DATE:			

JOHN W. STORB
No. 2598
REGISTERED PROFESSIONAL ENGINEER

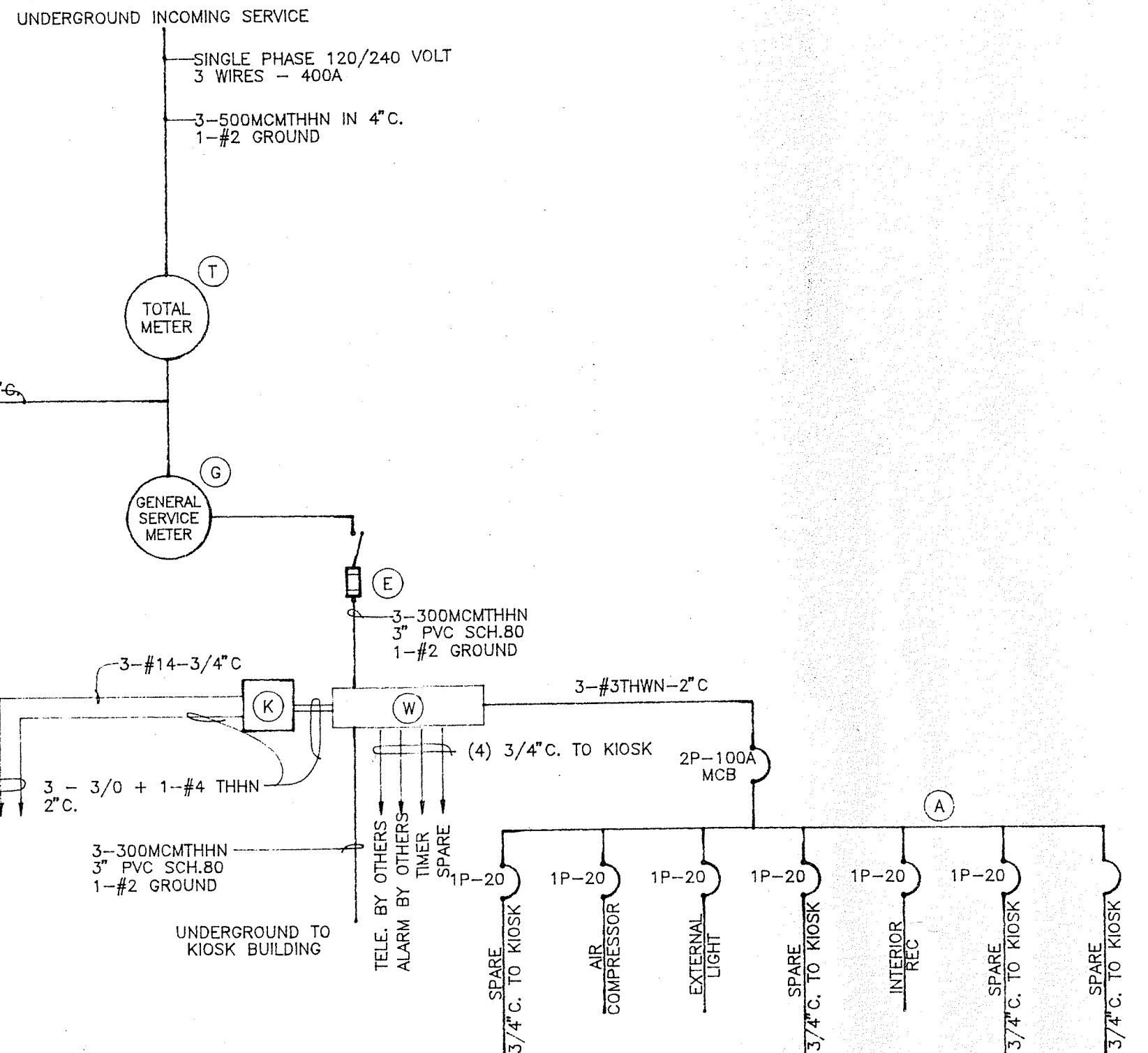


STORAGE BUILDING
ELECTRICAL DRAWING

DRAWING NUMBER:
MS-6B



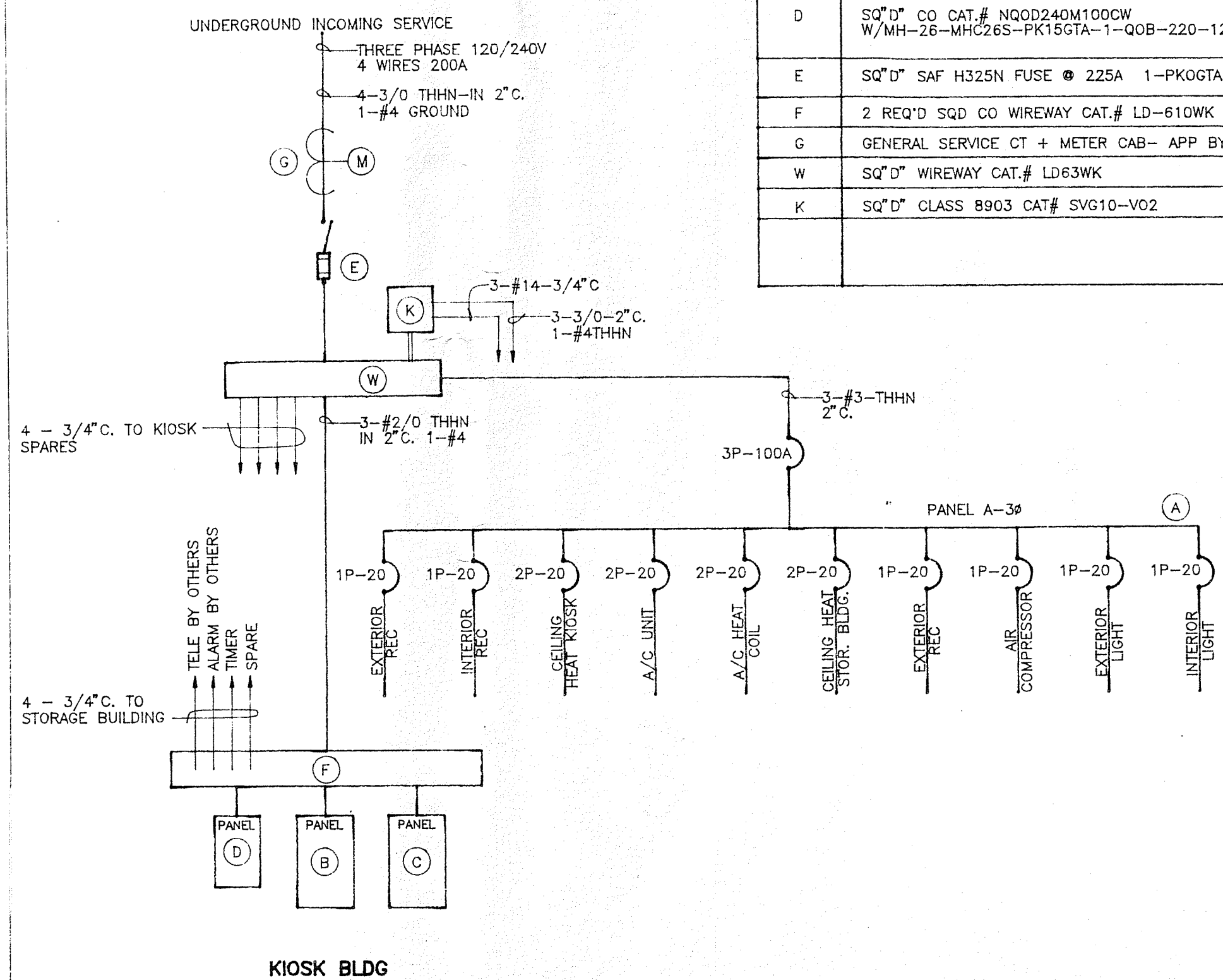
STORAGE BUILDING
MAIN ELECTRICAL SERVICE



SERVICE SINGLE LINE DIAGRAM FOR ELECTRIC SPACE HEATING SERVICE
(PHILA ONLY) OR WHERE PERMITTED BY POWER CO.

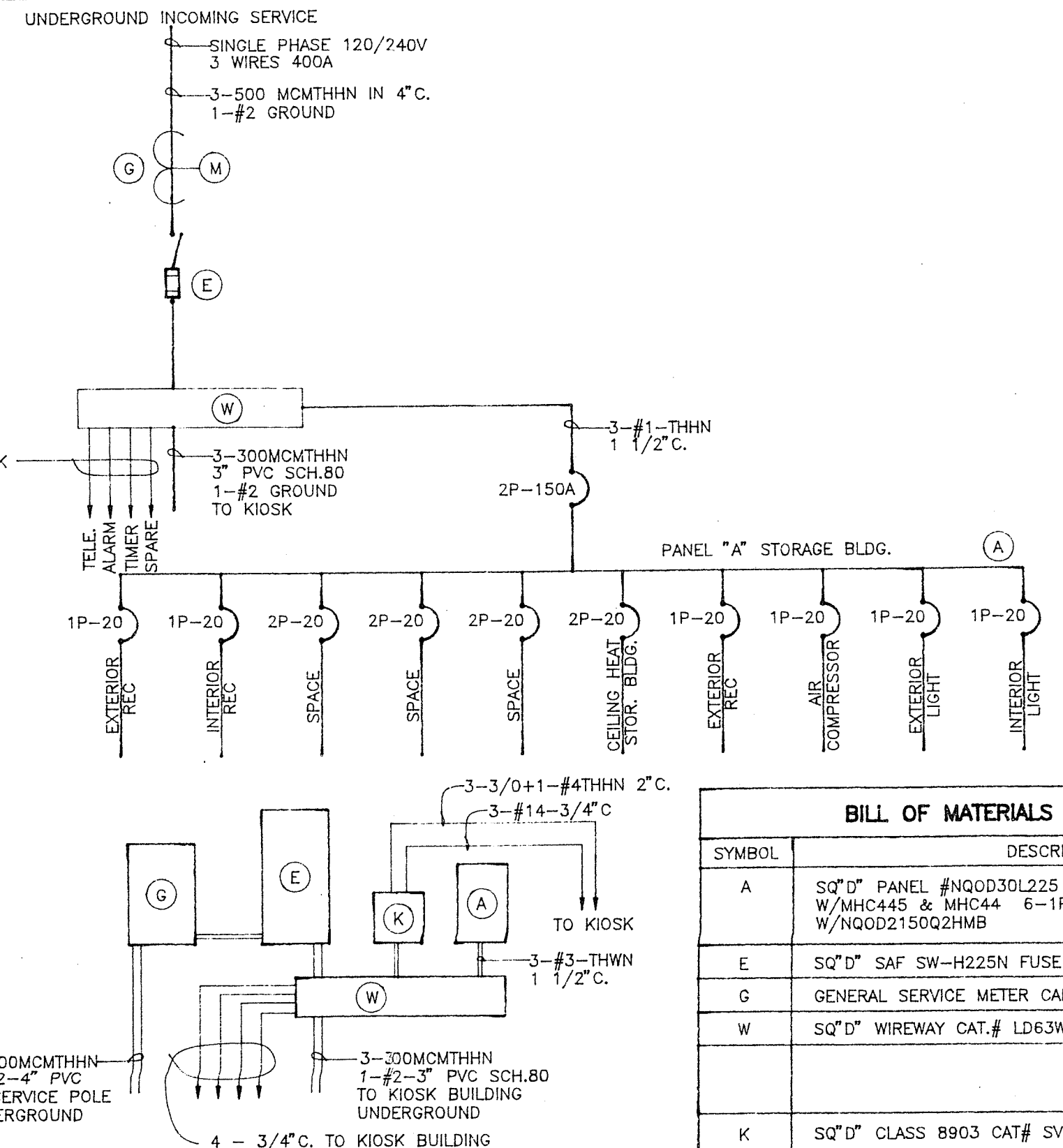
SYMBOL	DESCRIPTION
A	SQ'D PANEL #N00D20M100CU W/MHC26S-MH26 W/100AMP MCB W/1-PK18GTA 6-1P-20QOB-120
E	SQ'D SAF SW-H225N FUSE @ 300A 1-PKOGTA-2
F	SQ'D SAF SW-H223N FUSE @ 100A 1-PK18GTA
G	GENERAL SERVICE METER CAB- APPROVED BY POWER CO.
K	SQ'D CLASS 8903 CAT# SVG10-V02
T	TOTAL METER CAB APPROVED BY POWER CO.
W	SQ'D WIREWAY CAT# LD63WK

SYMBOL	DESCRIPTION
A	SQ'D CO CAT# NQ0D424M100CU W/MH-26-MHC21S-PK15GTA 4-QOB-230 - 4-QOB-120
B	SQ'D CO CAT# NQ0D430M100CU W/MH-29-MHC29S-PK18GTA 10-QOB-220SWIN-5-QOB-220 10-QOB120
D	SQ'D CO CAT# NQ0D240M100CW W/MH-26-MHC26S-PK15GTA-1-QOB-220-12-QOB120
E	SQ'D SAF H325N FUSE @ 225A 1-PKOGTA-2
F	2 REQ'D SQD CO WIREWAY CAT# LD-610WK
G	GENERAL SERVICE CT + METER CAB- APP BY POWER CO.
W	SQ'D WIREWAY CAT# LD63WK
K	SQ'D CLASS 8903 CAT# SVG10-V02

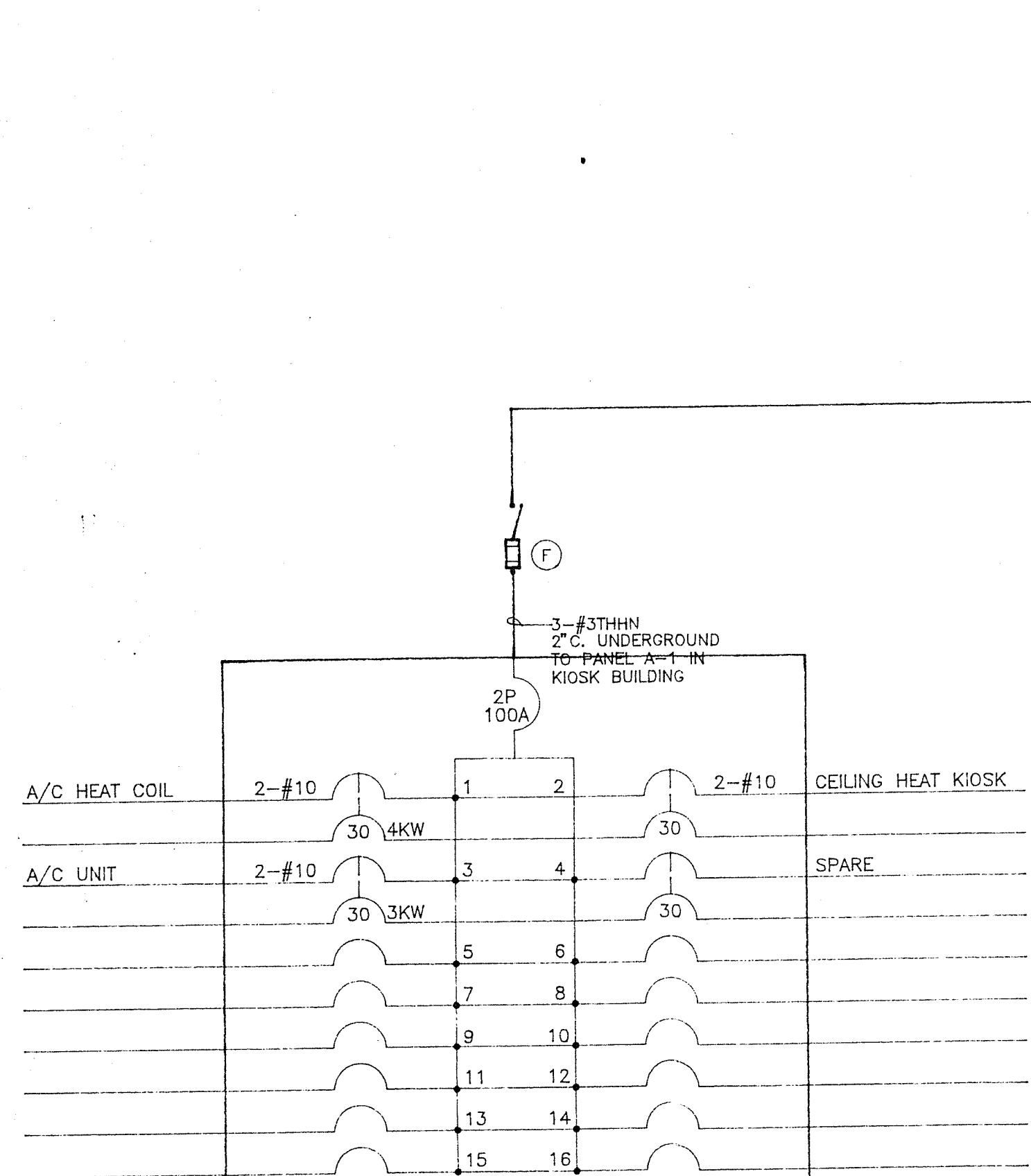


KIOSK BLDG

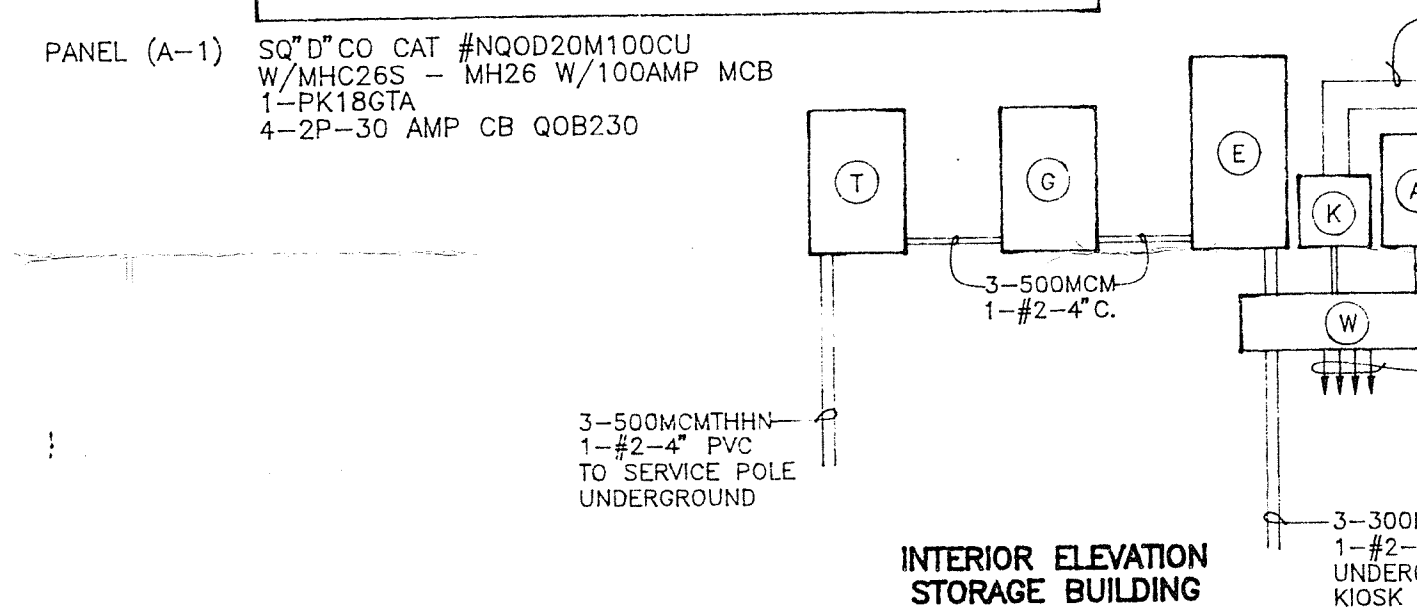
SYMBOL	DESCRIPTION
A	SQ'D PANEL #NQ0D30L225 W/MHC44S & MHC44 6-1P-20A QOB120 W/NQ0D2150Q2HMB 1 PK18GTA
E	SQ'D SAF SW-H225N FUSE @ 300A 1-PKOGTA-2
G	GENERAL SERVICE METER CAB- APPROVED BY POWER CO.
W	SQ'D WIREWAY CAT# LD63WK
K	SQ'D CLASS 8903 CAT# SVG10-V02

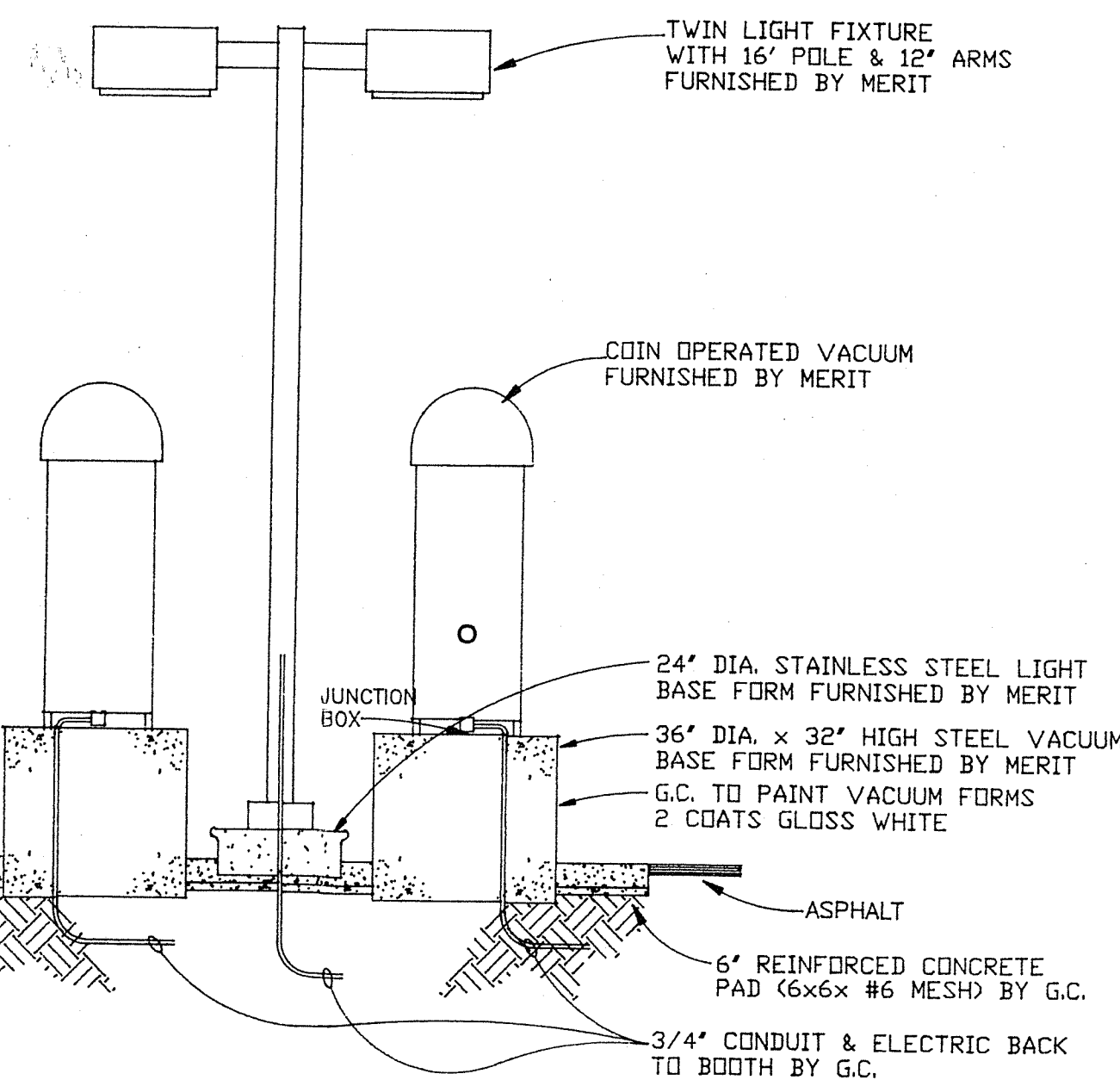
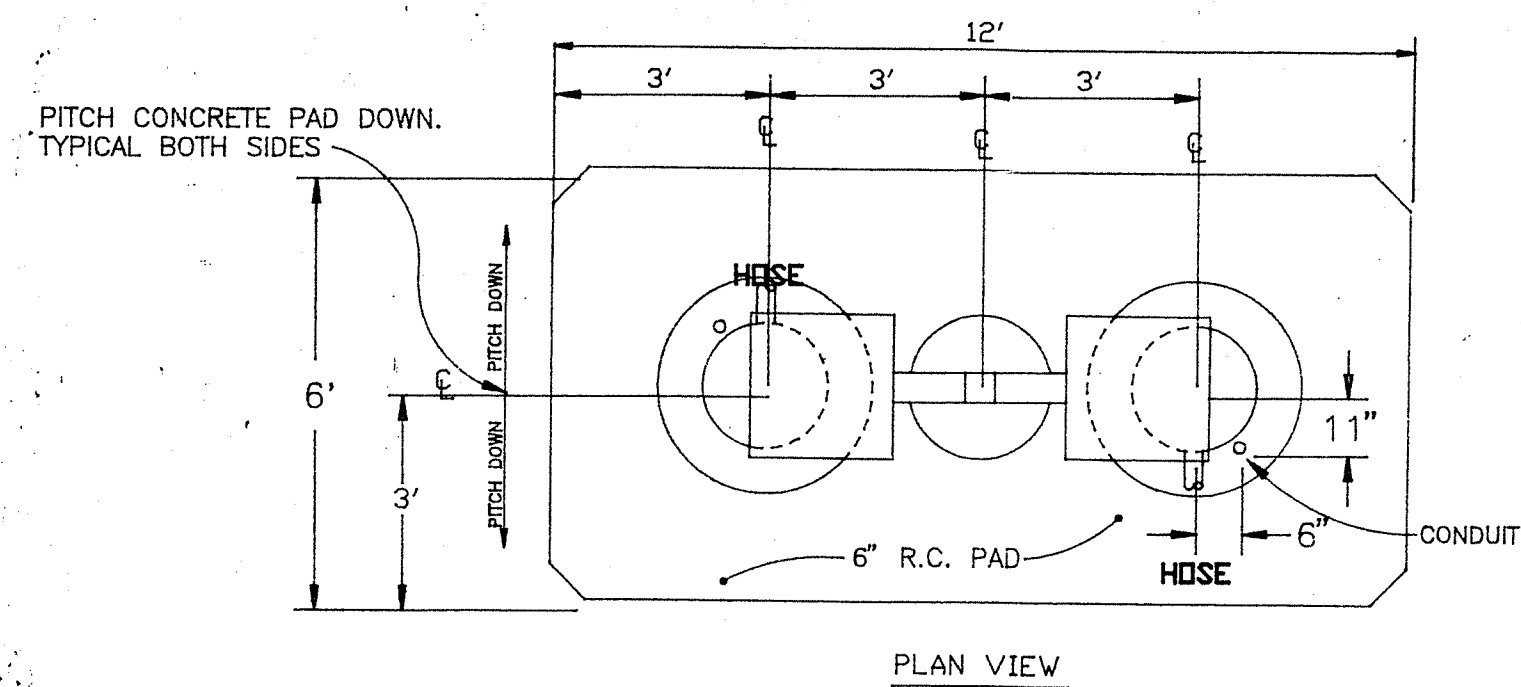


SERVICE SINGLE LINE DIAGRAM FOR STANDARD SINGLE PHASE 120/240 VOLT-3 WIRE-400A

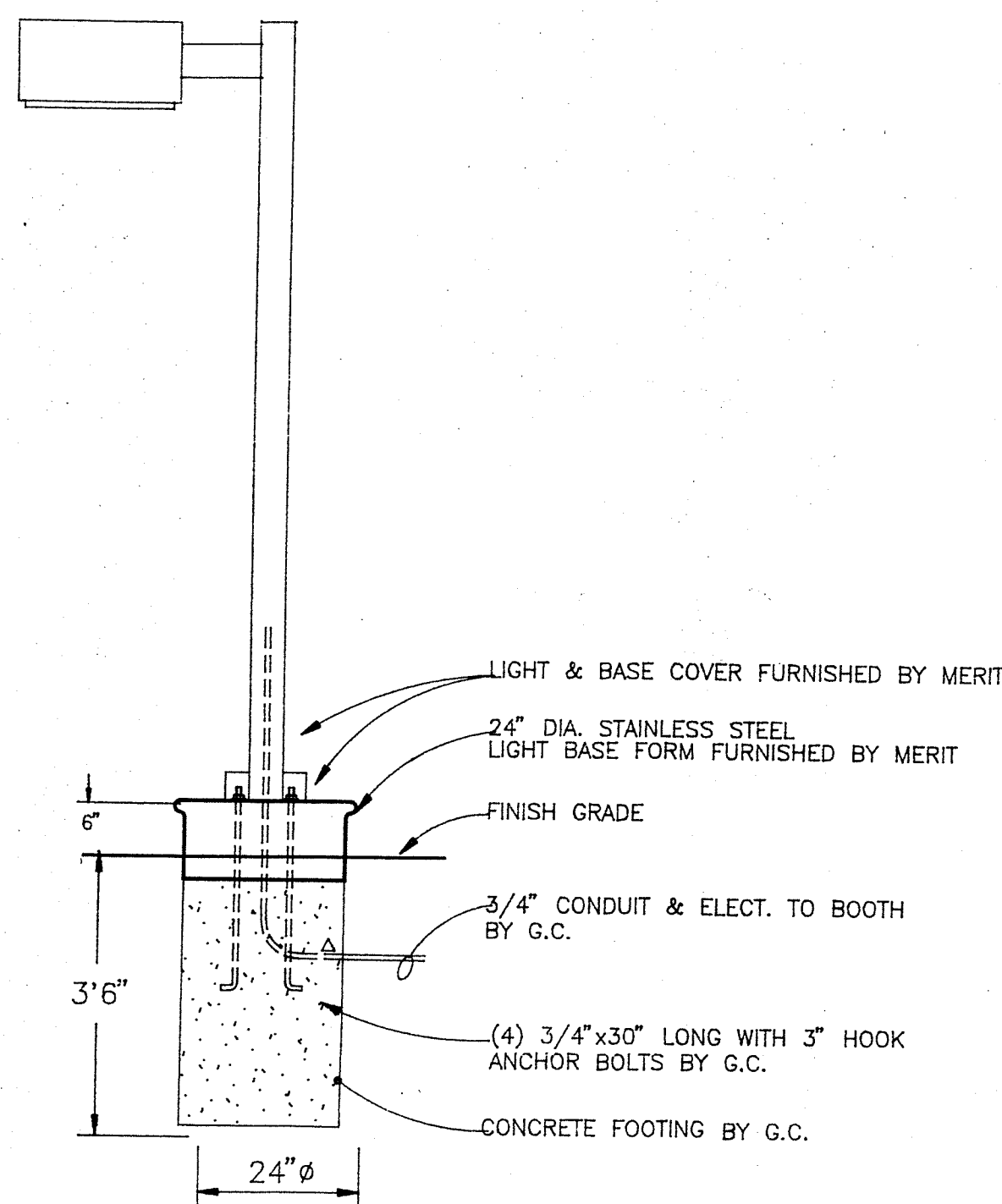


PANEL "A-1" KIOSK BLDG.
SINGLE PHASE SERVICE ONLY

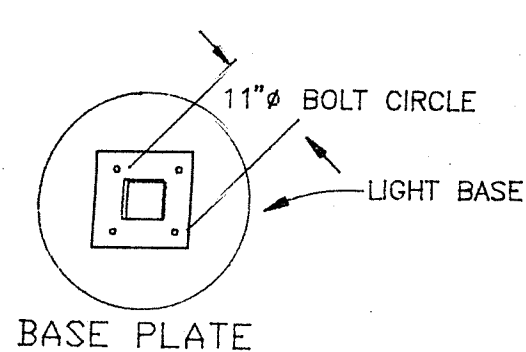




ELEVATION
VACUUM DETAIL
N.T.S.



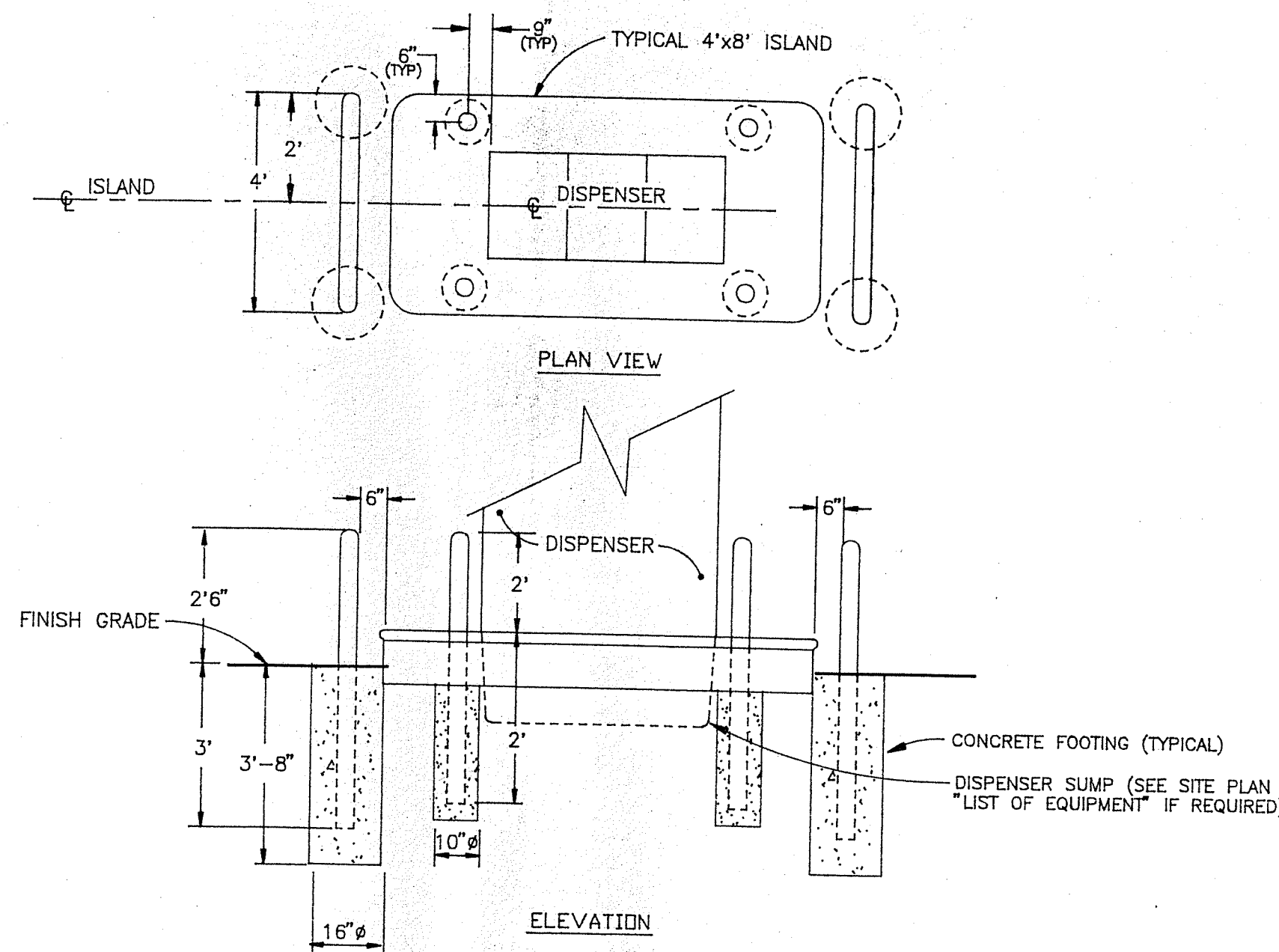
TYPICAL LT. FOOTING
N.T.S.



CONCRETE COLORED ISLANDS, LT. BASES & VACUUM PEDASTALS

G.C. TO APPLY "COLORCRON" AS MFG. BY "MASTER BUILDER" COLOR TO BE BATTLESHIP GREY. APPLY TO TOPS OF EACH ISLAND, LIGHT BASE & VACUUM PEDASTAL. DRY SHAKE OVER FRESHLY FLOATED CONCRETE AT A RATE OF 0.5lbs. PER SQ. FT. OF SURFACE. (SMOOTH SURFACE) FINISH AFTER CONCRETE HAS SET & DRIED WITH COLORCRON NOTED ABOVE FOR APPROXIMATELY 48 HOURS. APPLY BY ROLLER OR BRUSH ONE COAT OF "MASTER BUILDERS FLOOR COAT CLEAR" CURING COATING AVAILABLE IN ONE GALLON CONTAINERS.

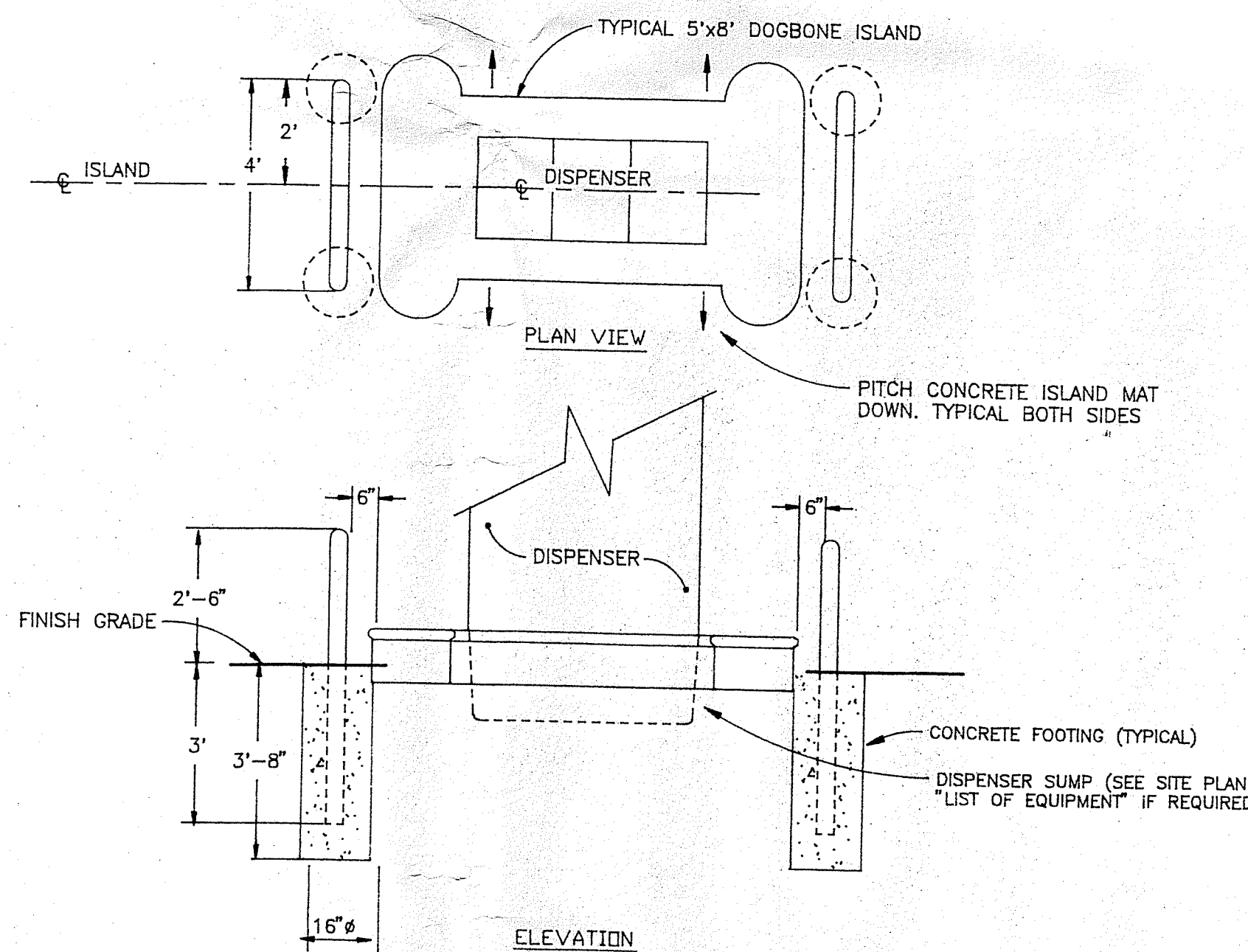
G.C. SHALL PEEL PROTECTIVE COATING FROM SIDES OF STAINLESS STEEL ISLAND FORMS AND CLEAN ALL RESIDUAL CONCRETE



BUMPER RAIL & POST DETAIL
(STRAIGHT ISLAND)
N.T.S.

GENERAL NOTES (BUMPER RAILS & POST)

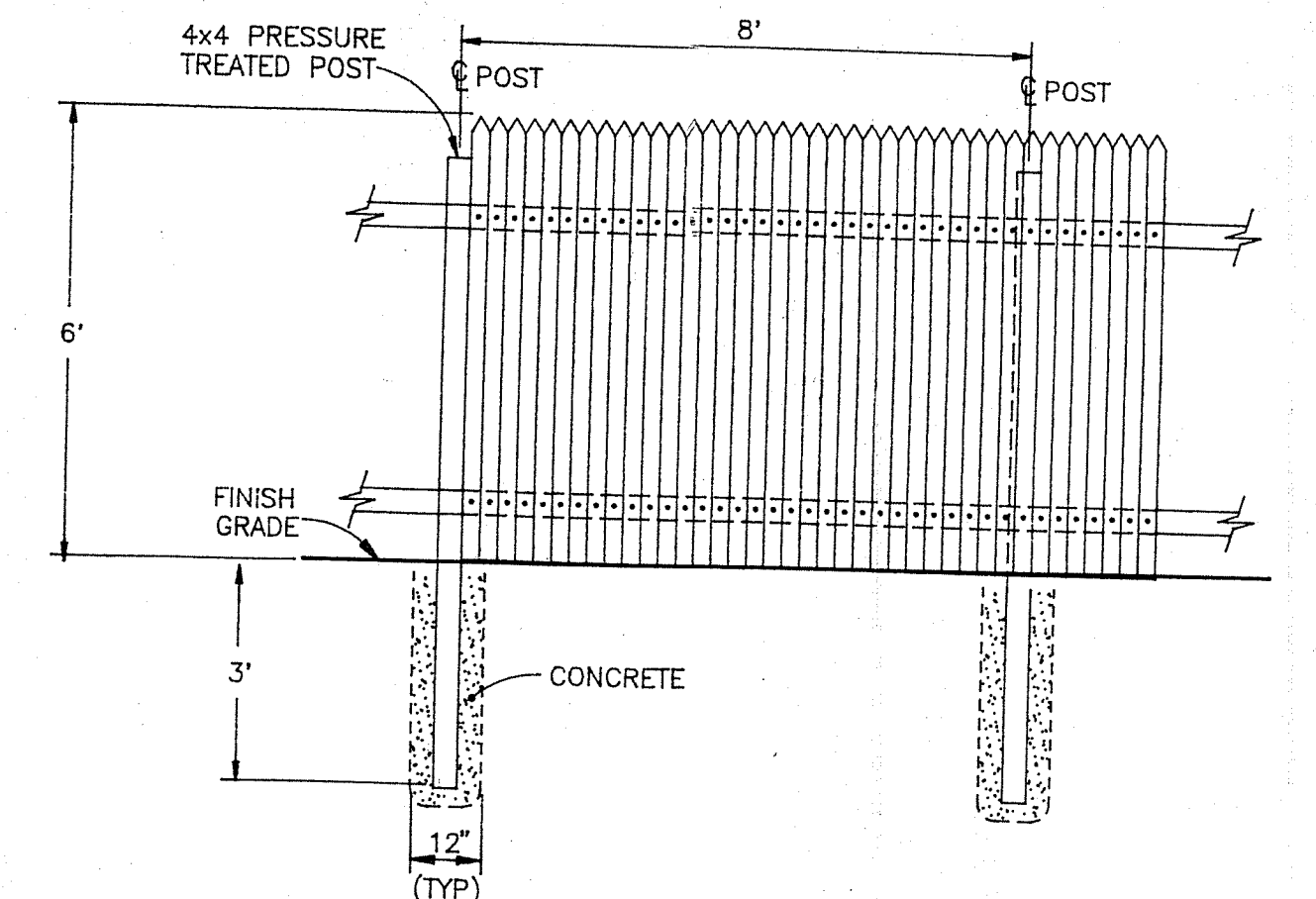
ALL BUMPER RAILS & POST WILL BE FURNISHED BY MERIT.
ALL BUMPER RAILS & POST WILL BE INSTALLED BY G.C..
ALL BUMPER RAILS & POST WILL BE PRIMED & PAINTED 2 COATS GLOSS BLACK BY G.C..



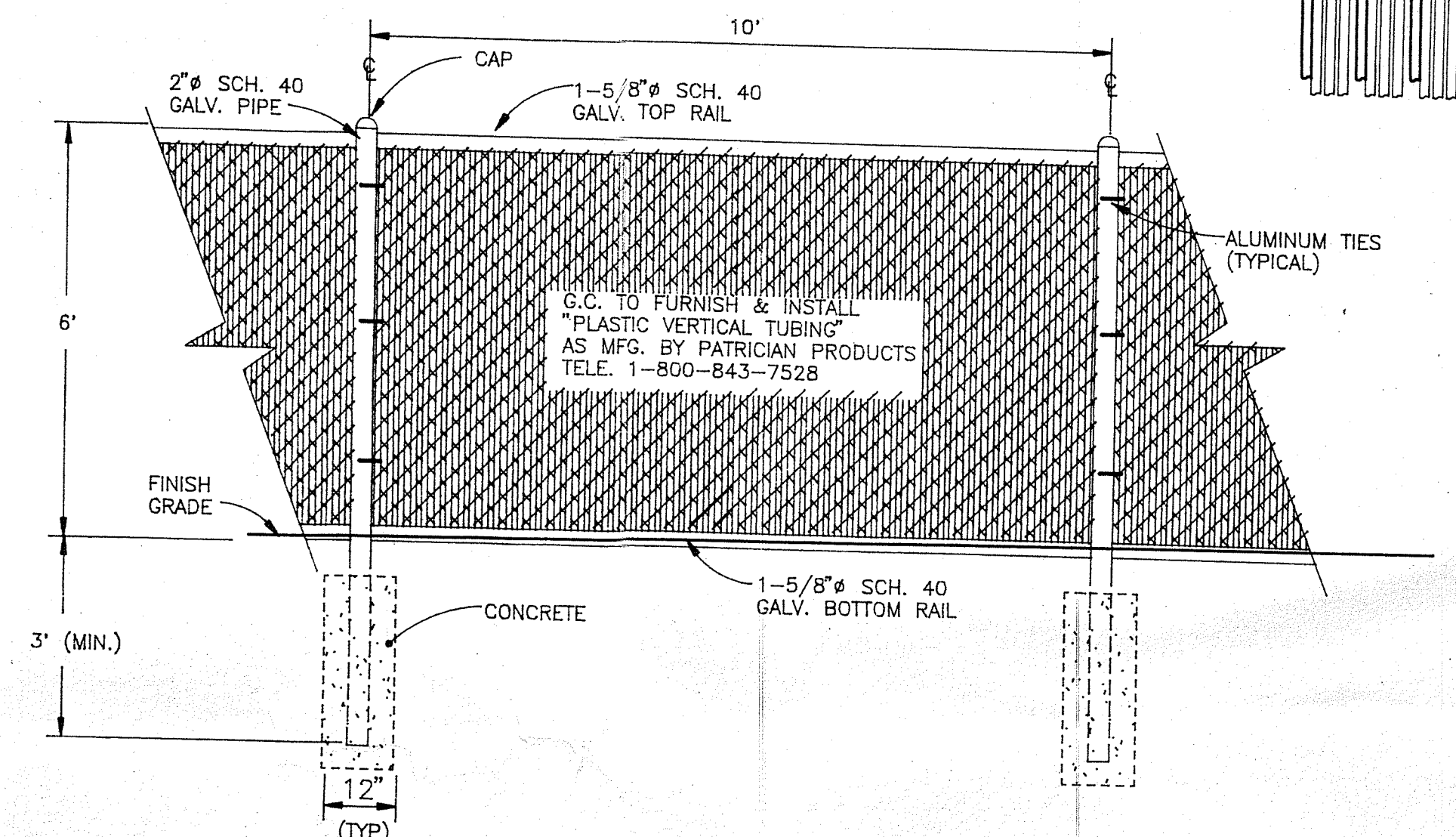
BUMPER RAIL DETAIL
(DOGBONE ISLAND)
N.T.S.

PROTECTIVE BUMPER POST & RAIL DETAILS

(CHECK PLOT PLAN FOR ISLAND FORM CONFIGURATION)



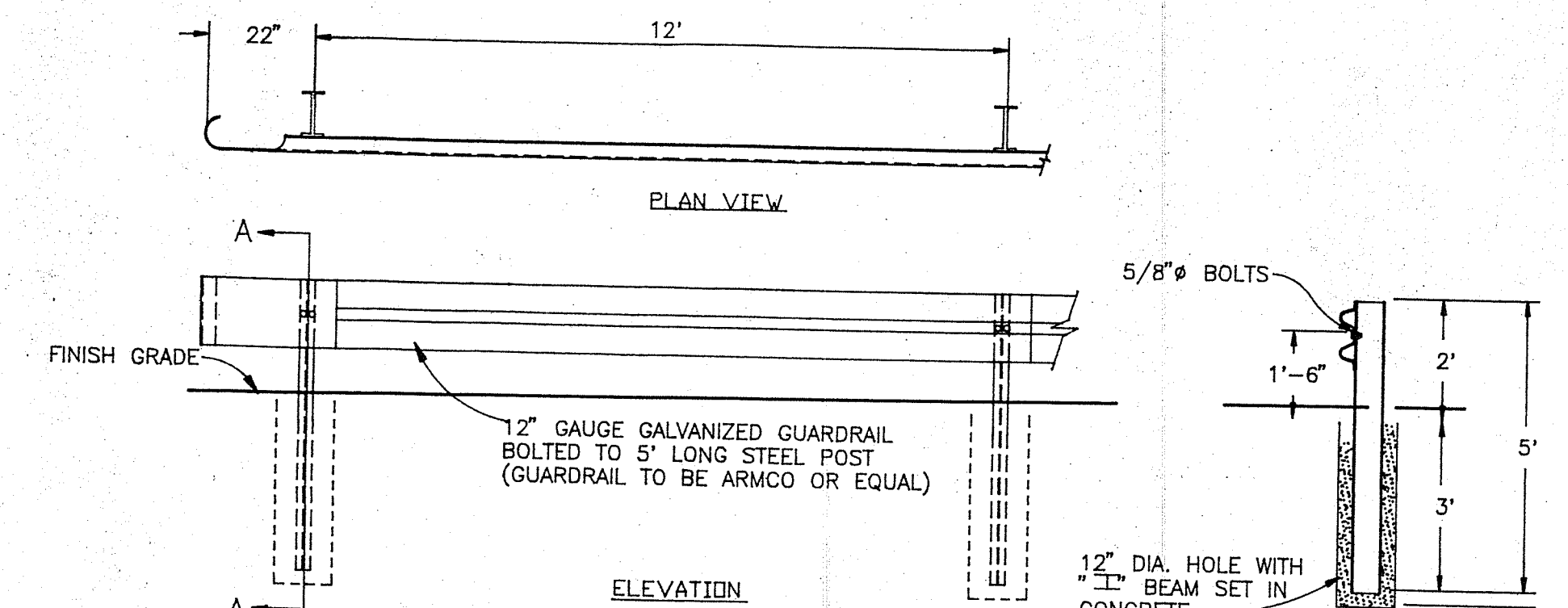
6' CEDAR STOCKADE FENCE
(FINISHED SLAT SIDE TO FACE STATION PROPERTY)
N.T.S.



6' CHAINLINK FENCE WITH SLATS
(FINISHED SLAT SIDE TO FACE STATION PROPERTY)
N.T.S.

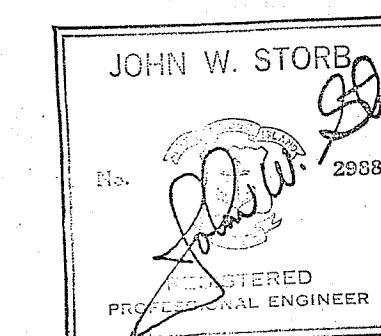
FENCING DETAILS

(CHECK PLOT PLAN FOR TYPE SPECIFIED)



HIGHWAY GUARDRAIL DETAIL
N.T.S.

APPROVED PLANS
ZONING BOARD OF REVIEW
DATE 6-8-95
PAGE 14 OF 16



The project to which this plan is a part is non-liable by any party, and the general contractor has within its contract expressly waived all such rights on behalf of himself and any subcontractors and/or materialman. By submittal of a bid or provision of any materials or services, all subcontractors and materialman voluntarily affirm the general contractors waiver and expressly waive any and all of their lien rights to the full extent available by law.

3	5/6/94	ALF	UPDATED PLAN
2	2/11/92	ALF	GENERAL REVISION
1	10/17/91	ALF	GENERAL REVISION

REV. NO.	DATE	BY	DESCRIPTION
DRAWN BY: ALF	DATE: 8/2/91		
CHECKED BY:	DATE:		

		MISCELLANEOUS DETAILS	
DRAWING NUMBER:		LS-12	
SCALE: 1"=10'-0" (UNLESS NOTED)			