

City of Providence

STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS

CHAPTER 2018-25

No. 351 AN ORDINANCE IN AMENDMENT OF CHAPTER 27 OF THE CODE OF ORDINANCES OF THE CITY OF PROVIDENCE ENTITLED "THE CITY OF PROVIDENCE ZONING ORDINANCE," APPROVED NOVEMBER 24, 2014, AS AMENDED, TO CHANGE REGULATIONS PERTAINING TO EXTERIOR INSULATING FINISH SYSTEMS

Approved June 22, 2018

Be it ordained by the City of Providence:

SECTION 1. Chapter 27, Article 5 of the City Ordinances entitled "Commercial Districts" is hereby amended as follows:

503 DESIGN STANDARDS

A. C-1 and C-2 District Design Standards

5. Building Materials

- a. The following building materials are prohibited on any façade:
 - i. Plain concrete block
 - ii. Glass block
 - iii. Exposed aggregate (rough finish) concrete wall panels
 - ~~iv. Exterior insulating finish systems (EIFS) is prohibited on first-story façades~~
 - iv. T-111 composite plywood siding
 - vi. Plastic
 - vii. Vinyl (excluding cellular vinyl trim) is prohibited on first-story façades
- b. The following building materials are prohibited on any façade; however, such materials may be used as decorative or detail elements for up to 25% of the façade.
 - i. Corrugated metal
 - ii. Cellular vinyl trim
- c. Exterior insulating finish systems (EIFS) is permitted on the ground floor by waiver from the City Plan Commission. An application for waiver under this subsection shall be approved provided that the following conditions are satisfied:
 - i. Only EIFS that include an integral air and moisture barrier is permitted.

ii. So that it is impact resistant, for areas up to 8 feet above grade, the EIFS shall include a base mesh layer weighing a minimum 20 oz./sq. yd., followed by a second mesh layer weighing a minimum of 4 oz./sq. yd. For all areas exposed to direct impact higher than 8 feet above grade (such as balconies), the use of a single layer of reinforcing mesh with a minimum weight of 12 oz./sq. yd. is required.

iii. The material shall be an aesthetically-appropriate facsimile of stone, brick, stucco, metal panel, or other traditional building material.

iv. Removal or covering of historic features in order to install EIFS shall be prohibited.

B. C-3 District Design Standards

4. Building Materials

a. The following building materials are prohibited on any façade:

i. Plain concrete block

ii. Glass block

iv. Exposed aggregate (rough finish) concrete wall panels

~~iv. Exterior insulating finish systems (EIFS) is prohibited on first-story façades~~

~~iv. T-111 composite plywood siding~~

~~vi. Plastic~~

~~vii. Vinyl (excluding cellular vinyl trim) is prohibited on first-story façades~~

b. The following building materials are prohibited on any façade; however, such materials may be used as decorative or detail elements for up to 25% of the façade.

i. Corrugated metal

ii. Cellular vinyl trim

c. Exterior insulating finish systems (EIFS) is permitted on the ground floor by waiver from the City Plan Commission. An application for waiver under this subsection shall be approved provided that the following conditions are satisfied:

i. Only EIFS that include an integral air and moisture barrier is permitted.

ii. So that it is impact resistant, for areas up to 8 feet above grade, the EIFS shall include a base mesh layer weighing a minimum 20 oz./sq. yd., followed by a second mesh layer weighing a minimum of 4 oz./sq. yd. For all areas exposed to direct impact higher than 8 feet above grade (such as balconies), the use of a single layer of reinforcing mesh with a minimum weight of 12 oz./sq. yd. is required.

iii. The material shall be an aesthetically-appropriate facsimile of stone, brick, stucco, metal panel, or other traditional building material.

iv. Removal or covering of historic features in order to install EIFS shall be prohibited.

SECTION 2. Chapter 27, Article 6 of the City Ordinances entitled “Downtown District” is hereby amended as follows:

606 DESIGN STANDARDS FOR NEW CONSTRUCTION

B. Building Materials

1. The primary exterior finish materials on the facade shall be brick, limestone, sandstone, granite, terra cotta, cast stone, glass, metal, painted wood, cement-based composites, phenolic resin-based composites, or other similar material.
2. The use of non-durable materials such as ~~exterior insulated finishing systems (EIFS)~~, vinyl, and other similar products is prohibited on the first floor and discouraged on upper floors.
3. Exterior insulating finish systems (EIFS) is permitted on the ground floor by waiver from the Downtown Design Review Committee. An application for waiver under this subsection shall be approved provided that the following conditions are satisfied:
 - a. Only EIFS that include an integral air and moisture barrier is permitted.
 - b. So that it is impact resistant, for areas up to 8 feet above grade, the EIFS shall include a base mesh layer weighing a minimum 20 oz./sq. yd., followed by a second mesh layer weighing a minimum of 4 oz./sq. yd. For all areas exposed to direct impact higher than 8 feet above grade (such as balconies), the use of a single layer of reinforcing mesh with a minimum weight of 12 oz./sq. yd. is required.
 - c. The material shall be an aesthetically-appropriate facsimile of stone, brick, stucco, metal panel, or other traditional building material.
 - d. Removal or covering of historic features in order to install EIFS shall be prohibited.

SECTION 3. Chapter 27, Article 9 of the City Ordinances entitled “Waterfront Districts” is hereby amended as follows:

903 W-2 DISTRICT DESIGN STANDARDS

E. Building Materials

- a. The following building materials are prohibited on any façade:
 - i. Plain concrete block
 - ii. Glass block
 - iii. Exposed aggregate (rough finish) concrete wall panels
 - ~~iv. Exterior insulating finish systems (EIFS) is prohibited on first-story façades~~

- iv. T-111 composite plywood siding
 - vi. Plastic
 - vii. Vinyl (excluding cellular vinyl trim) is prohibited on first-story façades
- b. The following building materials are prohibited on any façade; however, such materials may be used as decorative or detail elements for up to 25% of the façade:
- i. Corrugated metal
 - ii. Cellular vinyl trim
- c. Exterior insulating finish systems (EIFS) is permitted on the ground floor by waiver from the City Plan Commission. An application for waiver under this subsection shall be approved provided that the following conditions are satisfied:
- i. Only EIFS that include an integral air and moisture barrier is permitted.
 - ii. So that it is impact resistant, for areas up to 8 feet above grade, the EIFS shall include a base mesh layer weighing a minimum 20 oz./sq. yd., followed by a second mesh layer weighing a minimum of 4 oz./sq. yd. For all areas exposed to direct impact higher than 8 feet above grade (such as balconies), the use of a single layer of reinforcing mesh with a minimum weight of 12 oz./sq. yd. is required.
 - iii. The material shall be an aesthetically-appropriate facsimile of stone, brick, stucco, metal panel, or other traditional building material.
 - iv. Removal or covering of historic features in order to install EIFS shall be prohibited.

SECTION 4. Chapter 27, Article 11 of the City Ordinances entitled “Waterfront Districts” is hereby amended as follows:

1103 ES EAST SIDE I-195 OVERLAY DISTRICT

D. Design Standards

1. Façade Design

- e. The primary exterior finish materials on the façade shall be brick, limestone, sandstone, granite, terra cotta, cast stone, glass, metal, painted wood, cement-based composites, phenolic resin-based composites, or other similar material. The use of non-durable materials such as ~~exterior insulated finishing systems (EIFS)~~, vinyl, and other similar products is prohibited on the first floor and is discouraged on upper floors.
- g. Exterior insulating finish systems (EIFS) is permitted on the ground floor by waiver from the Downtown Design Review Committee. An application for waiver under this subsection shall be approved provided that the following conditions are satisfied:
 - i. Only EIFS that include an integral air and moisture barrier is permitted.

ii. So that it is impact resistant, for areas up to 8 feet above grade, the EIFS shall include a base mesh layer weighing a minimum 20 oz./sq. yd., followed by a second mesh layer weighing a minimum of 4 oz./sq. yd. For all areas exposed to direct impact higher than 8 feet above grade (such as balconies), the use of a single layer of reinforcing mesh with a minimum weight of 12 oz./sq. yd. is required.

iii. The material shall be an aesthetically-appropriate facsimile of stone, brick, stucco, metal panel, or other traditional building material.

iv. Removal or covering of historic features in order to install EIFS shall be prohibited.

SECTION 5. This ordinance shall take effect upon passage.

IN CITY COUNCIL
JUN 07 2018
FIRST READING
READ AND PASSED

Tina L. Mastromanni CLERK
ACTING

IN CITY
COUNCIL
JUN 21 2018

FINAL READING
READ AND PASSED

David S. Santolucito
PRESIDENT
Lowell
CLERK

I HEREBY APPROVE.

[Signature]
Mayor
Date: 6/22/18

503 - DESIGN STANDARDS.

The following design standards apply to new construction, including additions to existing structures, and substantial repair or rehabilitation of the exterior facade of an existing structure. In the case of repair or rehabilitation, only those standards that relate to the specific actions taken apply. The city plan commission may waive these design standards as part of city plan commission development plan review (section 1906).

- A. **C-1 and C-2 District Design Standards.** The following design standards apply to new and existing nonresidential structures, including mixed-use development. Residential dwellings, except for multi-family and mixed-use development, are not subject to these standards, but rather the principal use standards for that particular dwelling type, as indicated in section 1202.
1. **Facade.**
 - a. Building facades shall not contain blank wall areas that exceed 25 linear feet, measured parallel to the street. Building facades that are 100 linear feet or more shall include a repeating architectural pattern with two or more of the following elements: color change, texture change, material change, or a wall articulation change such as a reveal, pilaster, or projecting rib.
 - b. Awnings shall be constructed of metal, canvas, or fire-resistant acrylic. Use of plastic and vinyl are prohibited.
 - c. Dome and waterfall awning types are prohibited, with the exception of a dome awning over the building entrance only. The use of one continuous awning across more than one building is prohibited.
 2. **Building Entry.**
 - a. All buildings shall have an orientation to and public entrance from the sidewalk along the primary building frontage. Public entrances shall be visually distinctive from the remaining portions of the facade along which it is located. (figure 5-1)
 - b. A ground floor building entrance shall not be recessed more than six feet from the required front setback, and shall not be wider than eight feet. Such a recess is considered to meet any required minimum build-to percentage. (figure 5-1)

FIGURE 5-1



3. Fenestration.

- a. Ground floor facades shall contain a total area of transparency of 50% or more of the wall area of the ground floor, measured between two and nine feet above the adjacent grade. This requirement shall not apply to the portions of building facades that front on side lot lines on corner lots. For existing structures originally designed for retail use on the ground floor, the ground floor shall maintain the original storefront design and is not subject to the ground floor transparency minimum. Multi-family dwellings are not subject to the ground floor transparency minimum.
- b. Ground floor and upper story windows on facades in new and existing buildings shall be composed of glass with a visible light transmittance (VLT) of at least 50 percent and a maximum exterior reflectivity of no more than 12 percent. The use of opaque materials such as brick, metal, or sheet rock to cover or fill a window opening is prohibited.

- c. For windows on the ground floor of a building, the bottom of the window frame shall be located no higher than two feet above the adjacent grade.
 - d. Each upper story facade shall provide areas of transparency equal to at least 10 percent of the wall area of the story.
 - e. External roll down security window guards are prohibited.
4. **Roof.**
- a. Parapet walls along the roof shall feature three-dimensional cornice treatments or other shadow-creating details.
 - b. Green roof, blue roof, and white roof designs are encouraged.
 - c. Reflective surfaces that produce glare are prohibited, except for solar panels or white roofs intended to radiate absorbed or nonreflected solar energy and reduce heat transfer to the building.
5. **Building Materials.**
- a. The following building materials are prohibited on any facade:
 - i. Plain concrete block;
 - ii. Glass block;
 - iii. Exposed aggregate (rough finish) concrete wall panels;
 - iv. Exterior insulating finish systems (EIFS) is prohibited on first-story facades;
 - v. T-111 composite plywood siding;
 - vi. Plastic;
 - vii. Vinyl (excluding cellular vinyl trim) is prohibited on first-story facades.
 - b. The following building materials are prohibited on any facade; however, such materials may be used as decorative or detail elements for up to 25 percent of the facade:
 - i. Corrugated metal,
 - ii. Cellular vinyl trim.
6. **Build-To Percentage.**
- a. **Front Setback.** The required build-to percentage is 60 percent of the front lot line.
 - b. **Corner Side Setback.** The required build-to percentage is 40 percent of the corner side lot line.
7. **Multi-Tenant Retail Centers.** Multi-tenant retail centers in C-1 and C-2 districts shall comply with the following additional design standards:
- a. The site shall be designed so that there is safe pedestrian access to the center from the public right-of-way and safe pedestrian circulation within the development.
 - b. A cohesive character is required through the use of coordinated hardscape treatment (special paving materials, lighting, street furniture, etc.) and landscaping.
- B. **C-3 District Design Standards.** The following design standards apply to new and existing nonresidential structures, including mixed-use development. Residential dwellings are not subject to these standards, but rather the principal use standards for that particular dwelling type, as indicated in section 1202.
1. **Facade.**

- a. All facades shall have at least two of the following architectural features to avoid the appearance of blank walls: change in plane, reveals, windows and openings, and changes in color, texture and/or material to add visual interest to the building elevation.
- b. Awnings shall be constructed of metal, canvas, or fire-resistant acrylic. Use of plastic and vinyl are prohibited.
- c. Dome and waterfall awning types are prohibited, with the exception of a dome awning over the building entrance only. Use of one continuous awning across more than one building is prohibited.

2. Fenestration.

- a. Ground floor transparency shall contain a total area of transparency of 50 percent or more of the wall area of the ground floor, measured between two and nine feet above the adjacent grade.
- b. Ground floor and upper story windows in new and existing buildings shall be composed of glass with visible light transmittance (VLT) of at least 50 percent and a maximum exterior reflectivity of no more than 12 percent. The use of opaque materials such as brick, metal, or sheet rock to cover or fill a window opening is prohibited.
- c. Each upper story facade shall provide areas of transparency equal to at least 10 percent of the wall area of the story.
- d. Solid-surface roll-down security window guards are prohibited.

3. Roof.

- a. Green roof, blue roof, and white roof designs are encouraged.
- b. Reflective surfaces that produce glare are prohibited, except for solar panels and white roofs intended to radiate absorbed or nonreflected solar energy and reduce heat transfer to the building.

4. Building Materials.

a. The following building materials are prohibited on any facade:

- i. Plain concrete block;
- ii. Glass block;
- iii. Exposed aggregate (rough finish) concrete wall panels;
- iv. Exterior insulating finish systems (EIFS) is prohibited on first-story facades;**
- v. T-111 composite plywood siding;
- vi. Plastic;
- vii. Vinyl (excluding cellular vinyl trim) is prohibited on first-story facades.

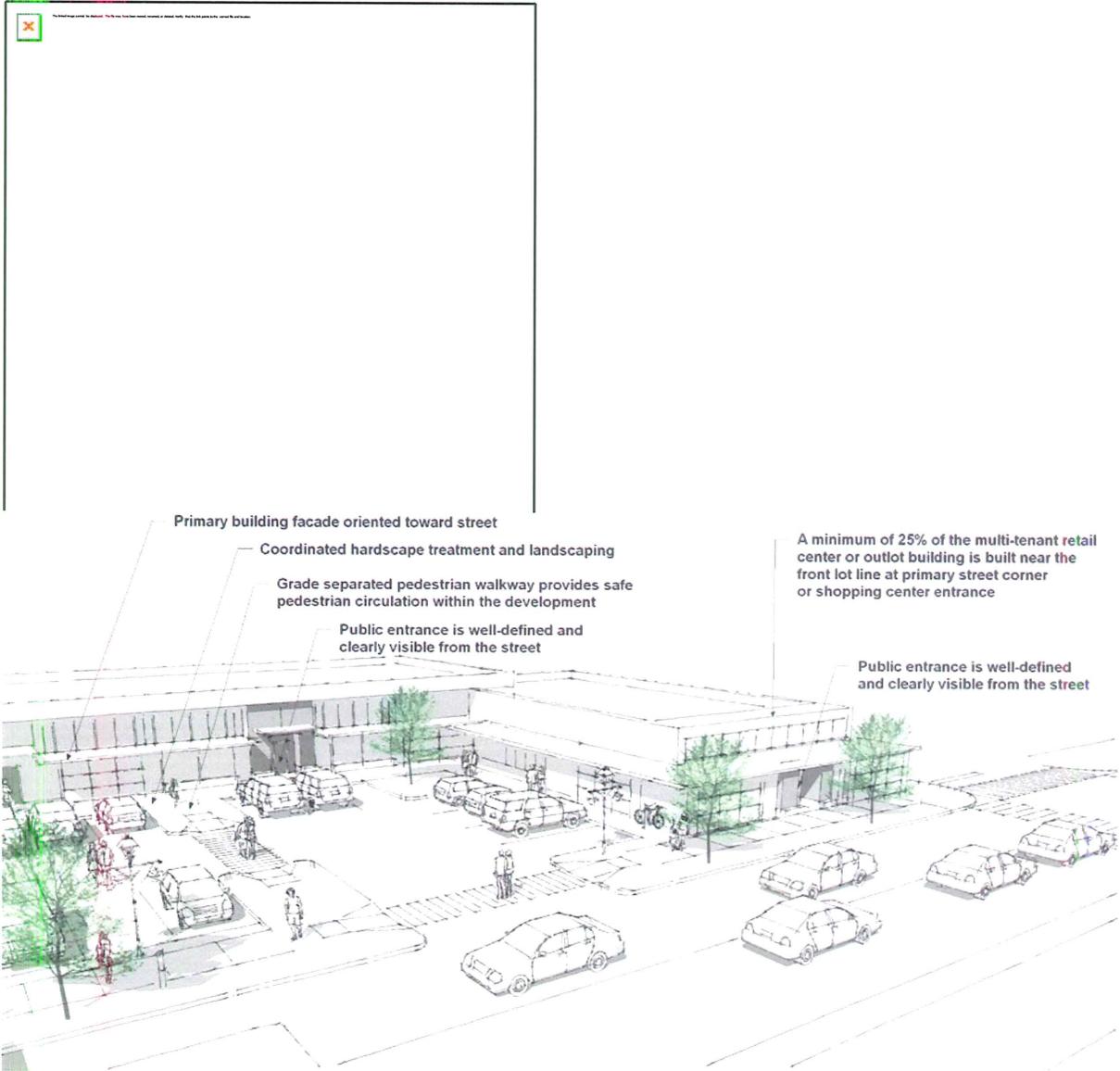
b. The following building materials are prohibited on any facade; however, such materials may be used as decorative or detail elements for up to 25 percent of the facade:

- i. Corrugated metal,
- ii. Cellular vinyl trim.

5. Multi-Tenant Retail Centers. Multi-tenant retail centers in C-3 districts shall comply with the following additional design standards. (figure 5-2). For multi-tenant retail centers, these design standards take precedence over the front setback requirements listed in table 5-1.

- a. When a multi-tenant retail center is situated behind a large parking lot, a street presence for the shopping center shall be created by locating part of the center or an outlot building within zero to ten feet of the lot line at the primary street corner or the shopping center entrance. When a center's frontage on the primary street exceeds 250 feet, outlot buildings shall be built to within zero feet to ten feet of the front lot line for at least 25 percent of the frontage.
- b. If outlot buildings are part of a multi-tenant retail center, outlot buildings shall define the street frontage by placement within zero feet to ten feet of the lot line at the primary street with showcase windows and entrances oriented toward the street and the interior parking lot.
- c. The primary facade shall be oriented toward the street with entrances facing or clearly visible from the primary street. Main entrances to the buildings shall be well defined.
- d. The site shall be designed so that there is safe pedestrian access to the center from the public right-of-way and safe pedestrian circulation within the development.
- e. A cohesive character is required through the use of coordinated hardscape treatment (special paving materials, lighting, street furniture, etc.) and landscaping.
- f. All facades of an outlot structure shall comply with the building material regulations of item 4., above.

FIGURE 5-2



(Ord. 2014, ch. 2014-39, § 1, 11-24-14; Ord. No. 2015-23, § 1, 7-24-15; Ord. No. 2016-6, § 1, 3-8-16)

606 - DESIGN STANDARDS FOR NEW CONSTRUCTION.

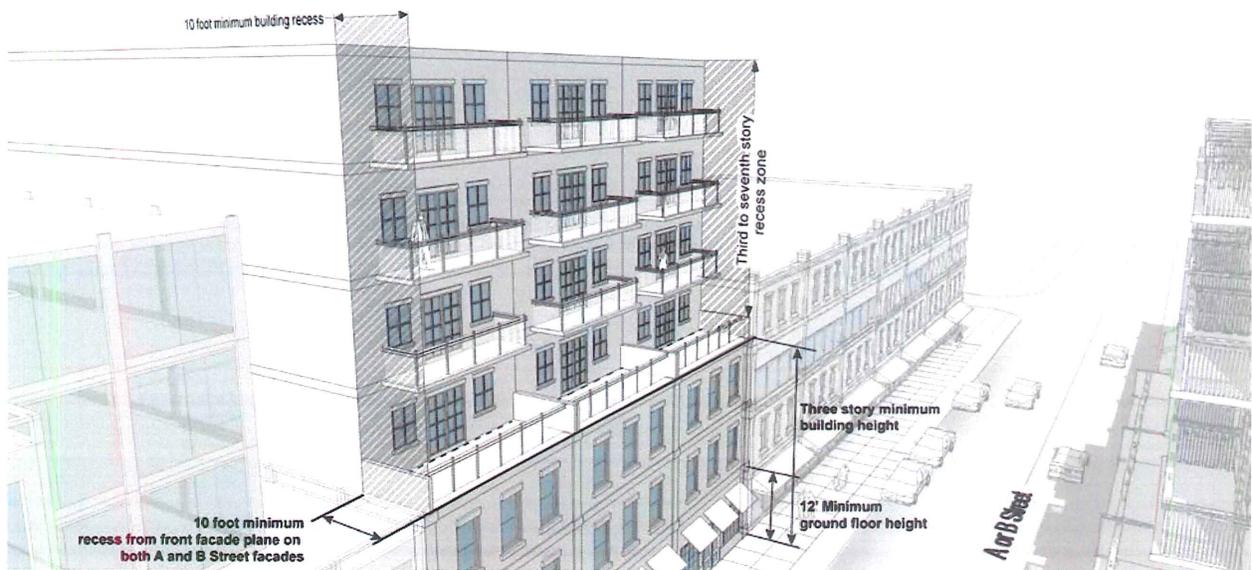
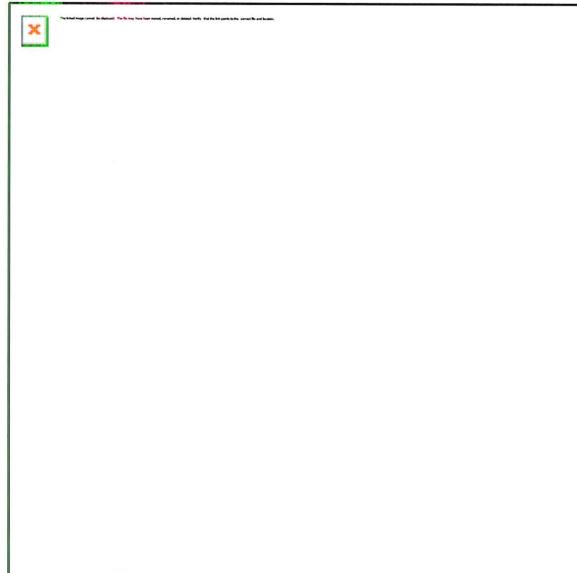
All new construction, including additions of 5,000 square feet of gross floor area shall be approved by the downtown design review committee or its staff and regulated by these standards. The purpose of these standards is to preserve the urban fabric of downtown Providence and ensure that new construction complements the historic character and architectural integrity of existing structures. The following are minimum standards for all new construction:

A. Building Height and Massing.

1. Buildings shall be at least three stories in height. The downtown design review committee may grant a waiver to allow a building of two stories. (figure 6-5)

2. Building height and massing shall relate to adjacent structures. (figure 6-5)
3. Ground floors shall be a minimum of 12 feet from floor to ceiling to enhance the pedestrian streetscape, regardless of the overall building height. However, the first-floor height of additions may align with the first-floor height of the existing building. (figure 6-5)
4. On both A and B street facades, buildings over six stories shall have a recess line of at least ten feet above the third story and below the seventh story. The recess line should relate to the form of any buildings adjacent to or across the street from the building. The downtown design review committee may grant a waiver to allow a building in excess of six stories not to have a recess line if it is determined that the building can exist compatibly with neighboring buildings. In such cases, a transition line may be required. (figure 6-5)

FIGURE 6-5



B. Building Materials.

1. The primary exterior finish materials on the facade shall be brick, limestone, sandstone, granite, terra cotta, cast stone, glass, metal, painted wood, cement-based composites, phenolic resin-based composites, or other similar material.
2. The use of nondurable materials such as exterior insulated finishing systems (EIFS), vinyl, and other similar products is prohibited on the first floor and discouraged on upper floors.

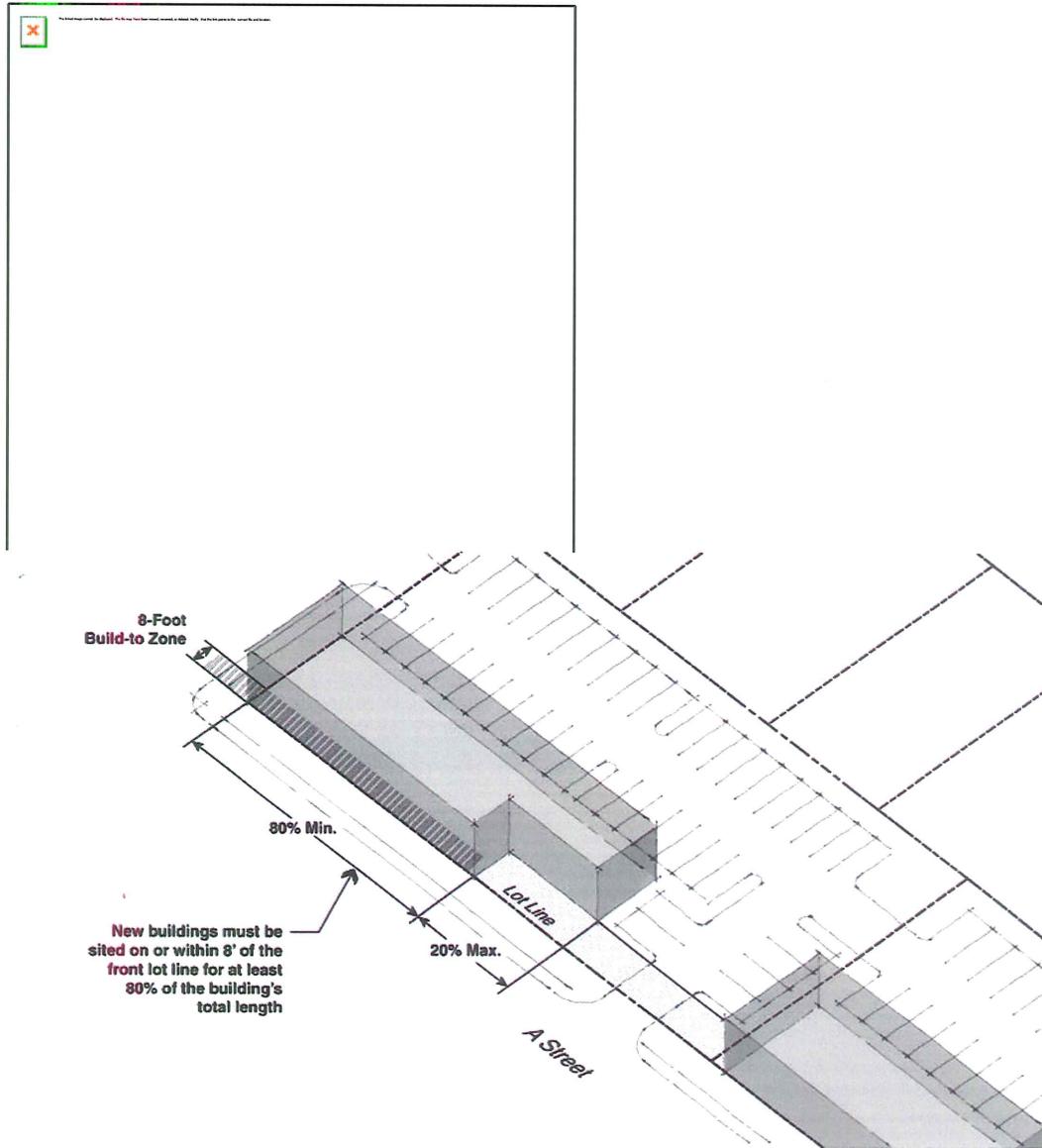
C. Entrance Design.

1. Buildings shall have their main entrance from a sidewalk on an A street, or if the building has no A street frontage, on a B street.
2. Buildings shall be designed to have multiple entrances, with no less than 35 feet between entrances.

D. Facade Design.

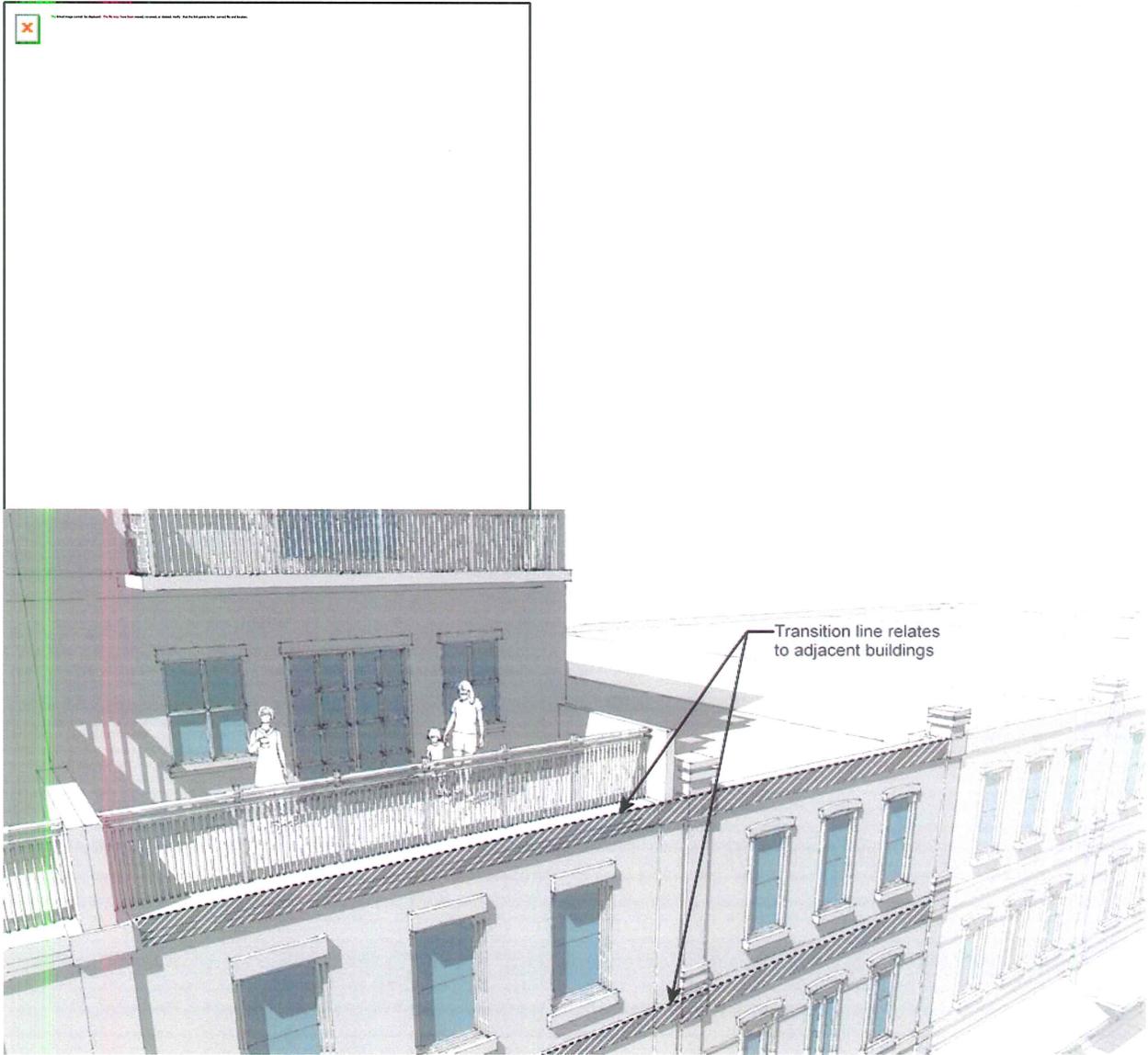
1. Building facades shall be built within a build-to zone of between zero and eight feet from the street line. Such facades shall occupy this build-to zone for at least 80 percent of each lot frontage of the property. These provisions may be waived to create court yards, wider sidewalks, open space, and/or outdoor seating. It is preferable that such areas contribute to a planned network of connected pedestrian and bikeways and parks. These provisions may also be waived to create accessory parking areas along B streets developed in accordance with section 604.G.4. (figure 6-6)
 - a. Where the lot frontage is curved, the facade shall follow. The downtown design review committee may grant a waiver to permit the building to be built on the chord or the tangent. This provision may be waived by the downtown design review committee.
 - b. Building facades shall be designed to have multiple entrances, with no less than 35 feet between entrances. This provision may be waived by the downtown design review committee.

FIGURE 6-6



2. A building facade shall have a transition line. Transition lines shall be designed in proportion to the overall height and mass of the proposed building to create a distinction between upper and lower stories. Transition lines shall relate to existing adjoining buildings. (figure 6-7)

FIGURE 6-7



E. Fenestration Design.

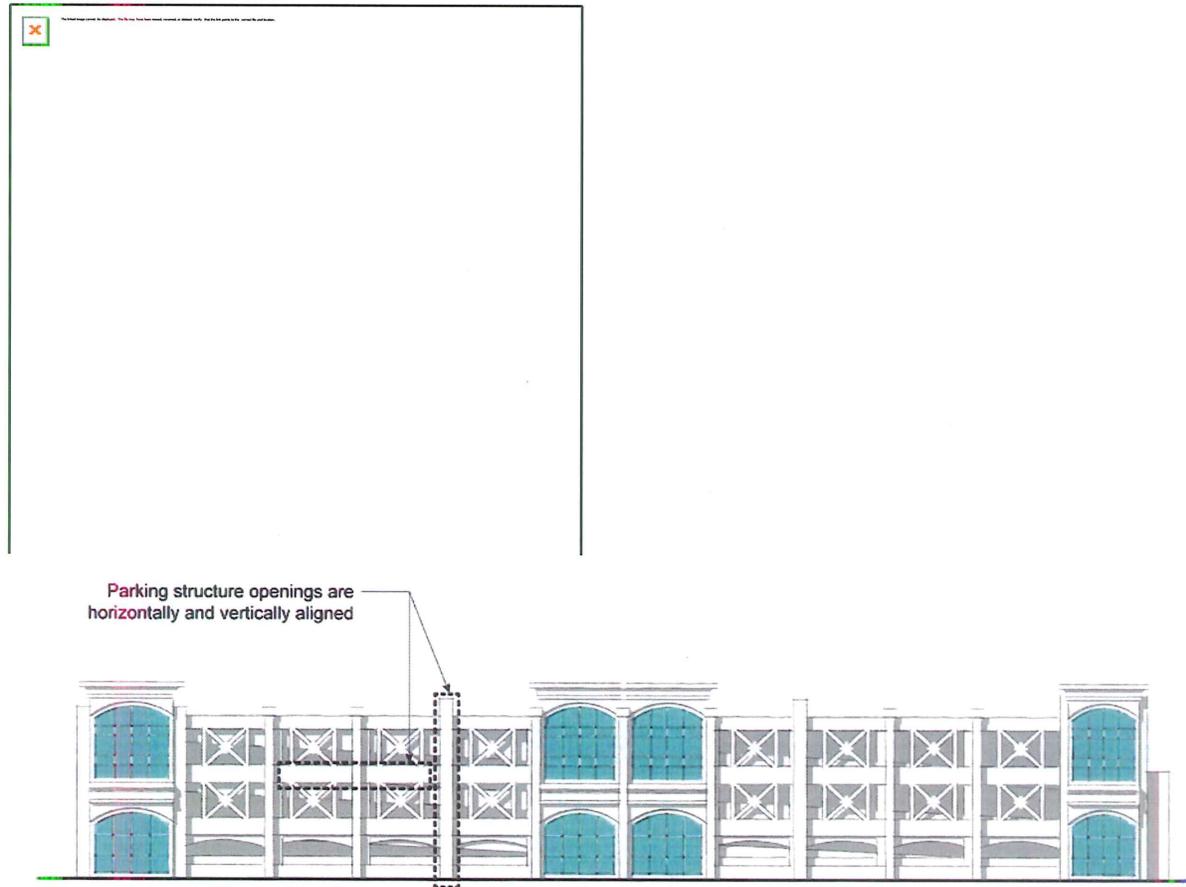
1. All building facades shall provide areas of transparency equal to at least 70 percent of the wall area, between the height of one and 12 feet from the ground, of each building facade. This provision may be waived by the downtown design review committee. (figure 6-8)
2. Blank walls shall be separated by areas of transparency of at least three feet in width. This provision may be waived by the downtown design review committee. (figure 6-8)
3. Upper story facade shall provide areas of transparency equal to at least 35 percent of the wall area of the story. This provision may be waived by the downtown design review committee. (figure 6-8)
4. Windows shall only be composed of clear or lightly tinted glass. Highly reflective window coatings are prohibited.

FIGURE 6-8



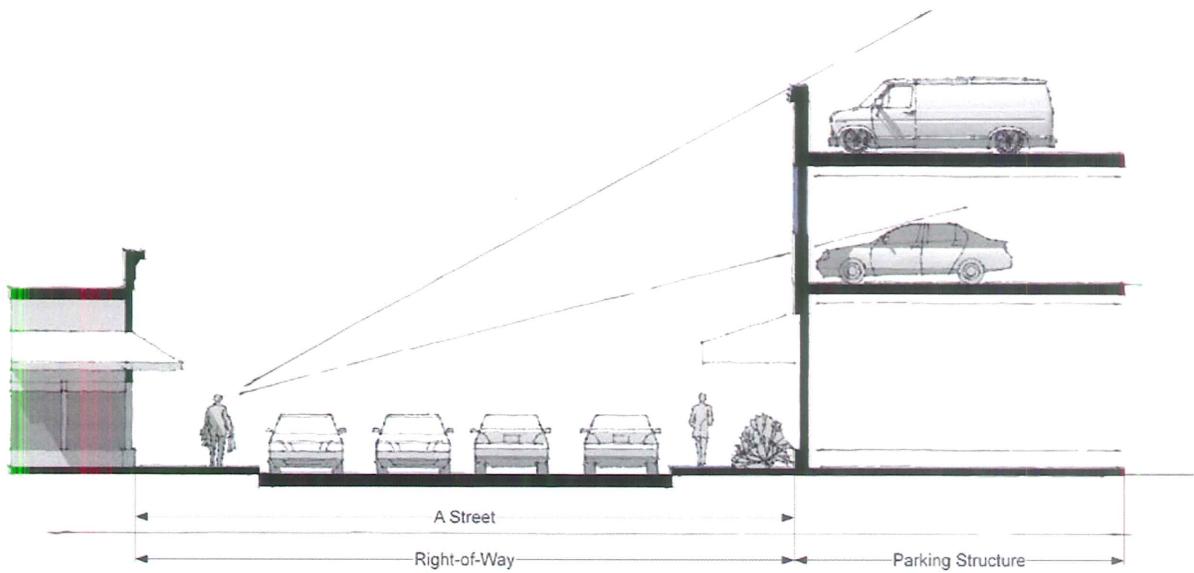
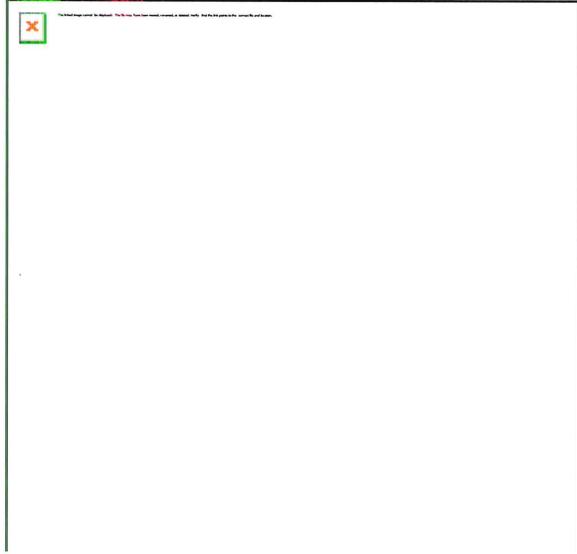
- F. **Parking Structure Design.** The following design standards apply to the construction of new parking structures, and may be waived by the downtown design review committee.
1. Parking structure openings which face any street shall be horizontally and vertically aligned. (figure 6-9)

FIGURE 6-9



2. Parking structure access ramps shall not be exposed on A street facades.
3. Parking structure facades shall conceal from view the entirety of all parked vehicles from view of a pedestrian from within the portion of right-of-way of an A street abutting the property containing the parking structure. (figure 6-10)

FIGURE 6-10



(Ord. 2014, ch. 2014-39, § 1, 11-24-14)

903 - W-2 DISTRICT DESIGN STANDARDS.

The following design standards apply to new construction, including additions to existing structures, and substantial repair or rehabilitation of the exterior facade of an existing structure. In the case of repair or rehabilitation, only those standards that relate to the specific actions taken apply. These design standards apply to new and existing nonresidential structures, including mixed-use development. Residential dwellings, except for multi-family and mixed-use developments, are not subject to these standards, but rather the standards for that particular dwelling type. The city plan commission may waive these design standards as part of city plan commission development plan review (section 1906).

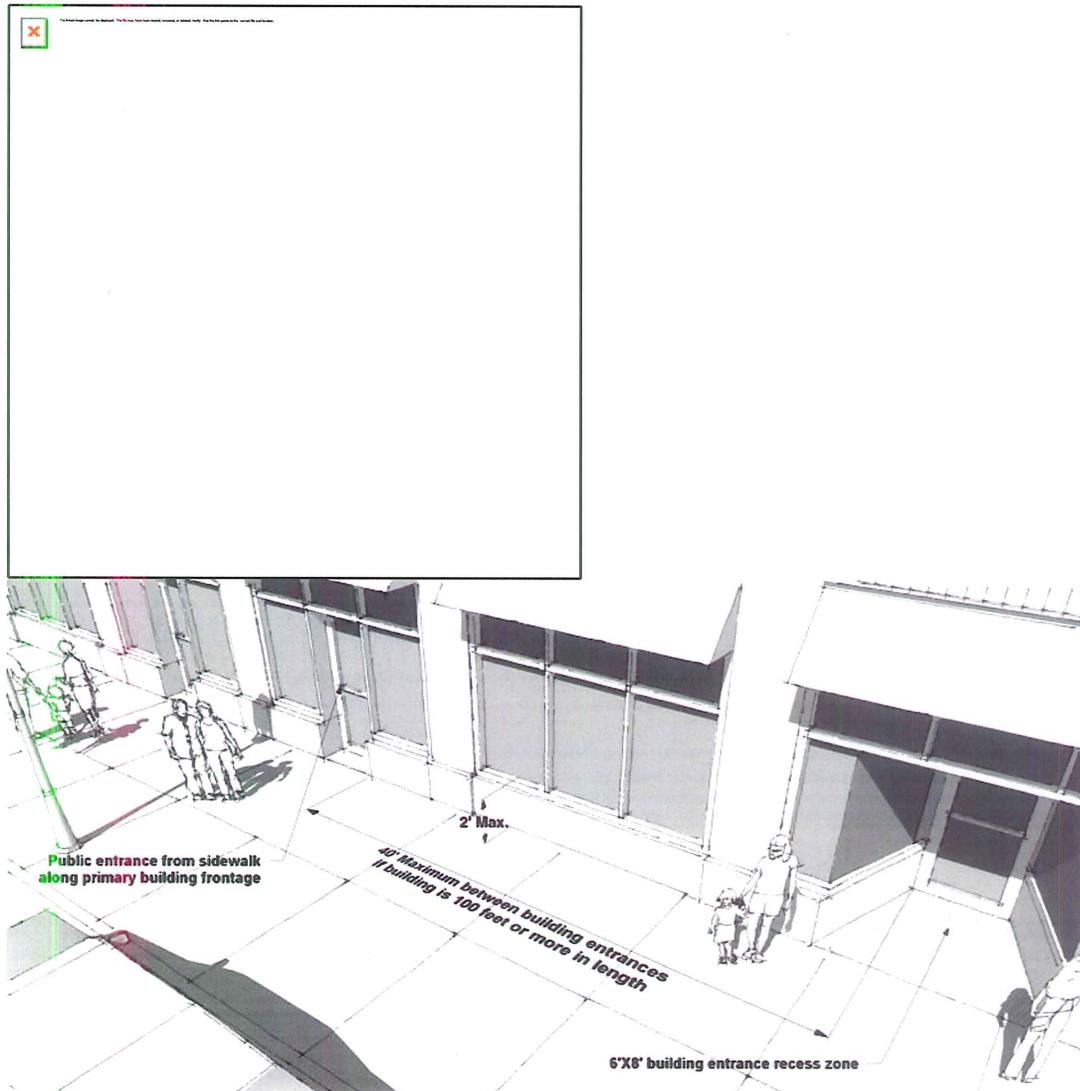
A. Facade.

1. Building facades up to 100 linear feet in length shall not contain blank wall areas that exceed 25 linear feet, measured parallel to the street. Building facades that are 100 linear feet or more shall include a repeating architectural pattern with two or more of the following elements: color change, texture change, material change, or a wall articulation change such as a reveal, pilaster, or projecting rib.

B. Building Entry.

1. All buildings shall have a public entrance oriented to the sidewalk along the primary building frontage. (figure 9-1)
2. Building facades that are 100 or more linear feet in length shall incorporate building entrances no less than every 40 linear feet of building frontage along the primary building frontage. (figure 9-1)

FIGURE 9-1



C. Fenestration.

1. Ground floor transparency shall contain a total area of transparency of 50 percent or more of the wall area of the ground floor, measured between two and nine feet above the

adjacent grade. For existing structures originally designed for retail use on the ground floor, the ground floor shall maintain the original storefront design and is not subject to the transparency minimum.

2. Ground floor and upper story windows in new and existing buildings shall be composed of glass with a visible light transmittance (VLT) of at least 50 percent and a maximum exterior reflectivity of no more than 12 percent. The use of opaque materials such as brick, metal, or sheet rock to cover or fill a window opening is prohibited.
3. Each upper story facade shall provide areas of transparency equal to at least 10 percent of the wall area of the story.
4. For windows on the ground floor of a building, the bottom of the window frame shall be located no higher than two feet above the adjacent grade.
5. Solid-surface roll-down security window guards are prohibited.

D. Roof.

1. Parapet walls along the roof shall feature three-dimensional cornice treatments or other shadow-creating details.
2. Green roof, blue roof, and white roof designs are encouraged.
3. Reflective surfaces that produce glare are prohibited, except for solar panels and white roofs intended to radiate absorbed or nonreflected solar energy and reduce heat transfer to the building.

E. Building Materials.

- a. **The following building materials are prohibited on any facade:**
 - i. Plain concrete block;
 - ii. Glass block;
 - iii. Exposed aggregate (rough finish) concrete wall panels;
 - iv. Exterior insulating finish systems (EIFS) is prohibited on first-story facades;**
 - v. T-111 composite plywood siding;
 - vi. Plastic;
 - vii. Vinyl (excluding cellular vinyl trim) is prohibited on first-story facades.
- b. The following building materials are prohibited on any facade; however, such materials may be used as decorative or detail elements for up to 25 percent of the facade:
 - i. Corrugated metal,
 - ii. Cellular vinyl trim.

F. Waterfront.

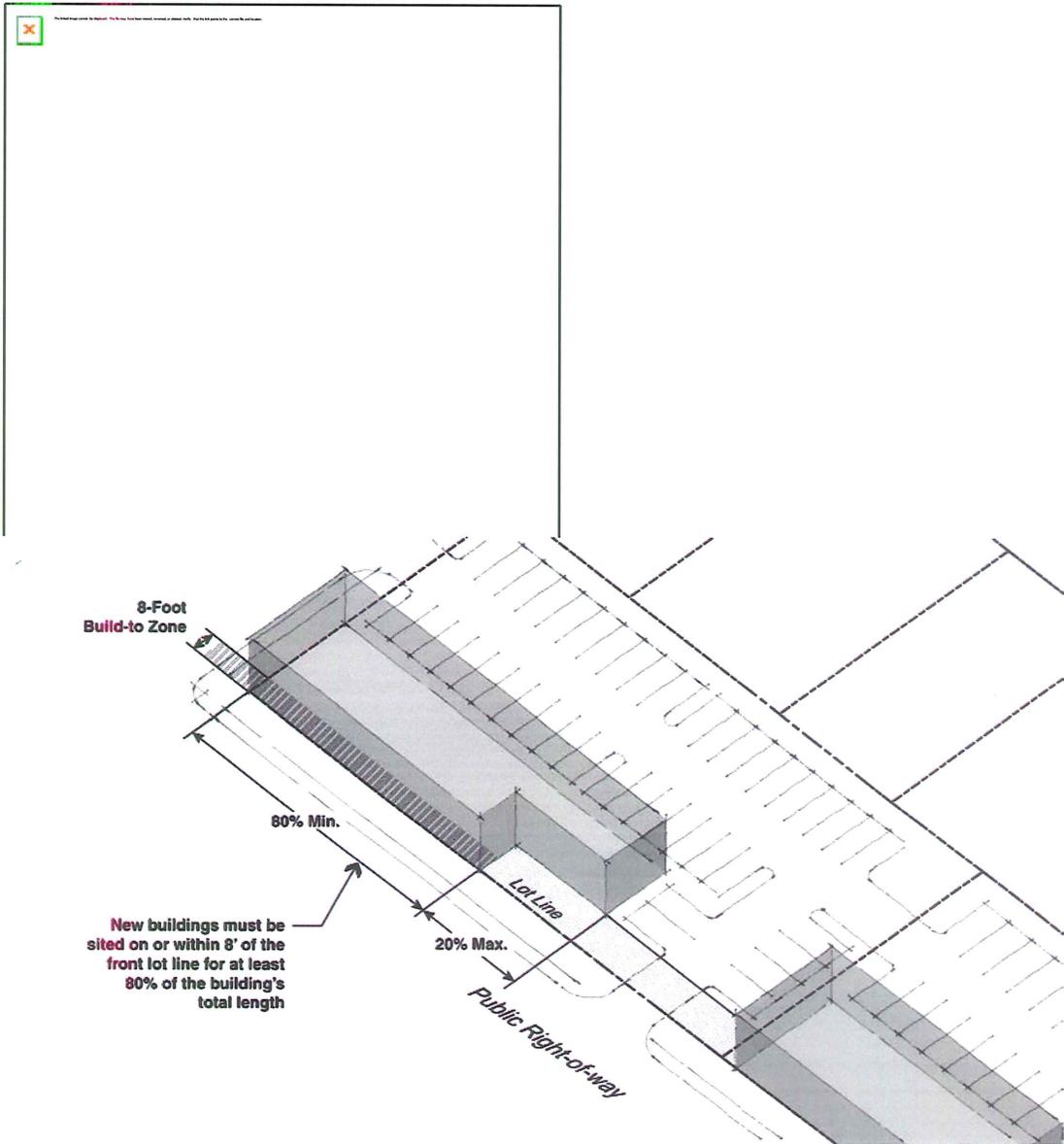
1. New development is encouraged to maintain the view of the waterfront from any public street that extends to the waterfront or terminates prior to reaching the waterfront, but abuts the boundaries of this district.
2. Active ground floor uses are encouraged along waterfront facades. Outdoor extension of such uses, such as outdoor dining areas and plazas, are permitted.

(Ord. 2014, ch. 2014-39, § 1, 11-24-14; Ord. No. 2015-23, § 1, 7-24-15)

1103 - ES EAST SIDE I-195 OVERLAY DISTRICT.

- A. **Application.** The design standards contained in this section apply to all existing structures and new construction on property within the ES east side I-195 overlay district. The ES overlay district applies to lots zoned the C-2, W-2, and OS district in the Fox Point neighborhood on the east side of Providence.
- B. **Development Review and Approval.** All development in the ES overlay district is subject to development plan review by the downtown design review committee following the process outlined in article 19.
- C. **Prohibited Uses.** The following uses are prohibited in the ES overlay district:
1. Principal uses that require enclosed buildings that are not inhabited by people and have no windows.
 2. Parking lots as a principal use.
 3. Ground floor residential development along Wickenden Street frontage.
 4. Single-family dwellings.
 5. Auto oriented or automotive uses including gas stations, car washes, vehicle service/repair, vehicle operation facility, and retail uses with drive-through facilities.
- D. **Design Standards.** These design regulations specify dimensional and performance standards that are in some cases more restrictive and in other cases less restrictive than the underlying zoning districts. The uses for the underlying districts shall be changed except as provided herein. Design standards for specific parcels in the ES overlay district are addressed in item subsection D. below.
1. **Facade Design.**
 - a. Building facades shall be built within a build-to zone of between zero and eight feet from the lot line. Such facades shall occupy this build-to zone for at least 80 percent of each lot frontage of the property. These provisions apply to all land within the ES overlay district, with the exception of parcel 1A. (figure 11-1)

FIGURE 11-1



- b. Minimum building height is two stories, with the exception of parcel 1A.
- c. Minimum building height for parcel 1A is one story.
- d. The design of the building base and upper stories shall be expressed in a manner that defines the pedestrian realm at ground level and provides visual relief through the use of building setbacks, facade articulation, material changes, and/or similar architectural features.
- e. The primary exterior finish materials on the facade shall be brick, limestone, sandstone, granite, terra cotta, cast stone, glass, metal, painted wood, cement-based composites, phenolic resin-based composites, or other similar material. The use of nondurable materials such as exterior insulated finishing systems (EIFS), vinyl, and other similar products is prohibited on the first floor and is discouraged on upper floors.

- f. Awnings on South Main Street, South Water Street and Wickenden Street are strongly encouraged. Awnings shall be designed to provide convenient and adequate covered area for pedestrians and conform to the following:
 - i. Awnings shall be variations on the shed form.
 - ii. Use of one continuous awning across more than one building is prohibited.
 - iii. Awnings shall be constructed of metal, canvas, or fire-resistant acrylic. Use of plastic and vinyl is prohibited.
 - iv. Back-lit and waterfall awnings are prohibited.
 - v. Dome awnings are permitted only above building entryways. Only the address number or building name may be printed on the awning.
 - vi. Awnings may project up to eight feet into a public right-of-way.

2. **Residential Building Design.**

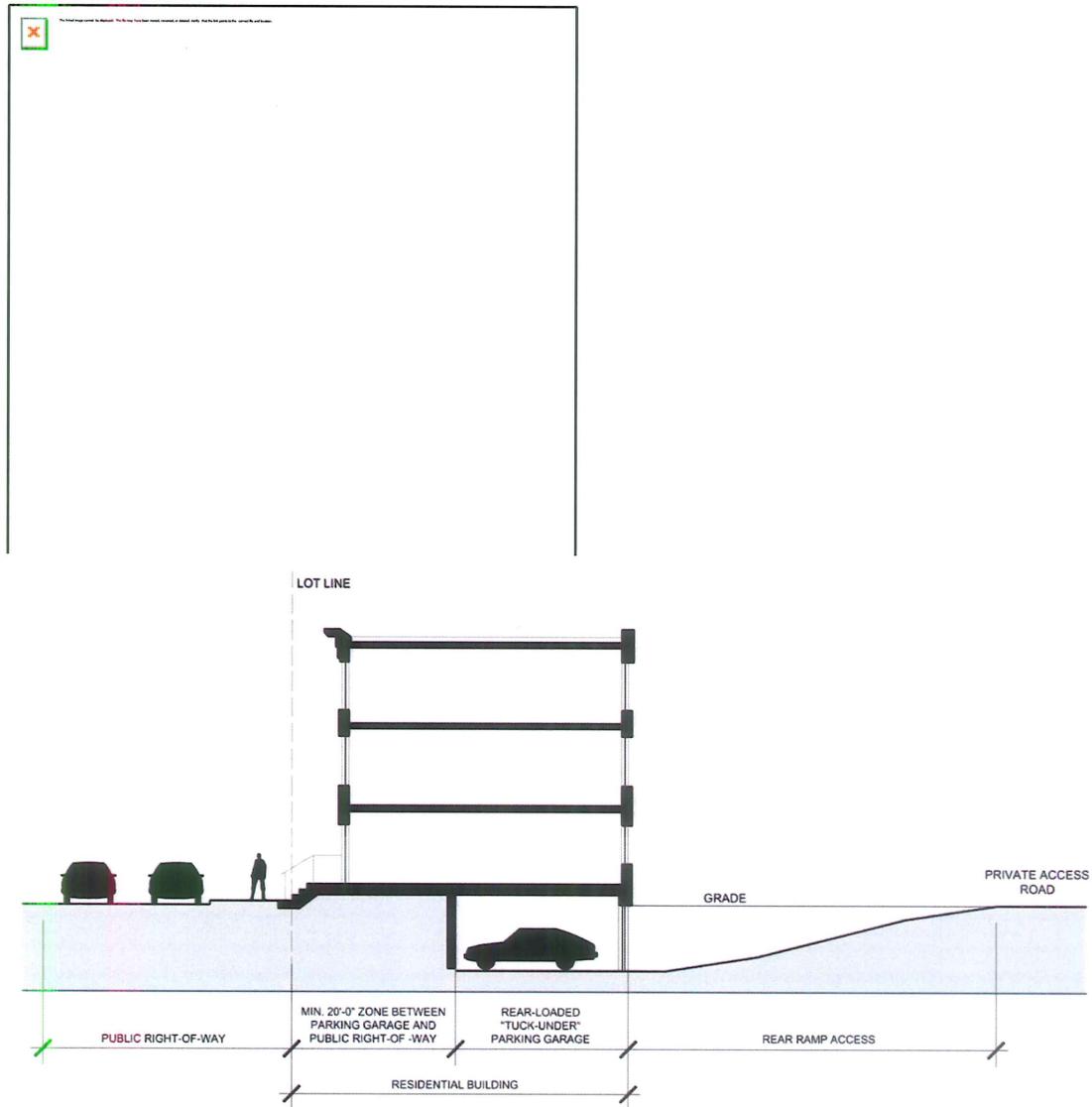
- a. The ground floor facade of first floor residential units shall contain areas of transparency equal to at least 35 percent of the wall area of the story between the height of two feet and nine feet above grade. Each upper story facade shall provide areas of transparency equal to at least 25 percent of the wall area of the story. (figure 11-2)

FIGURE 11-2



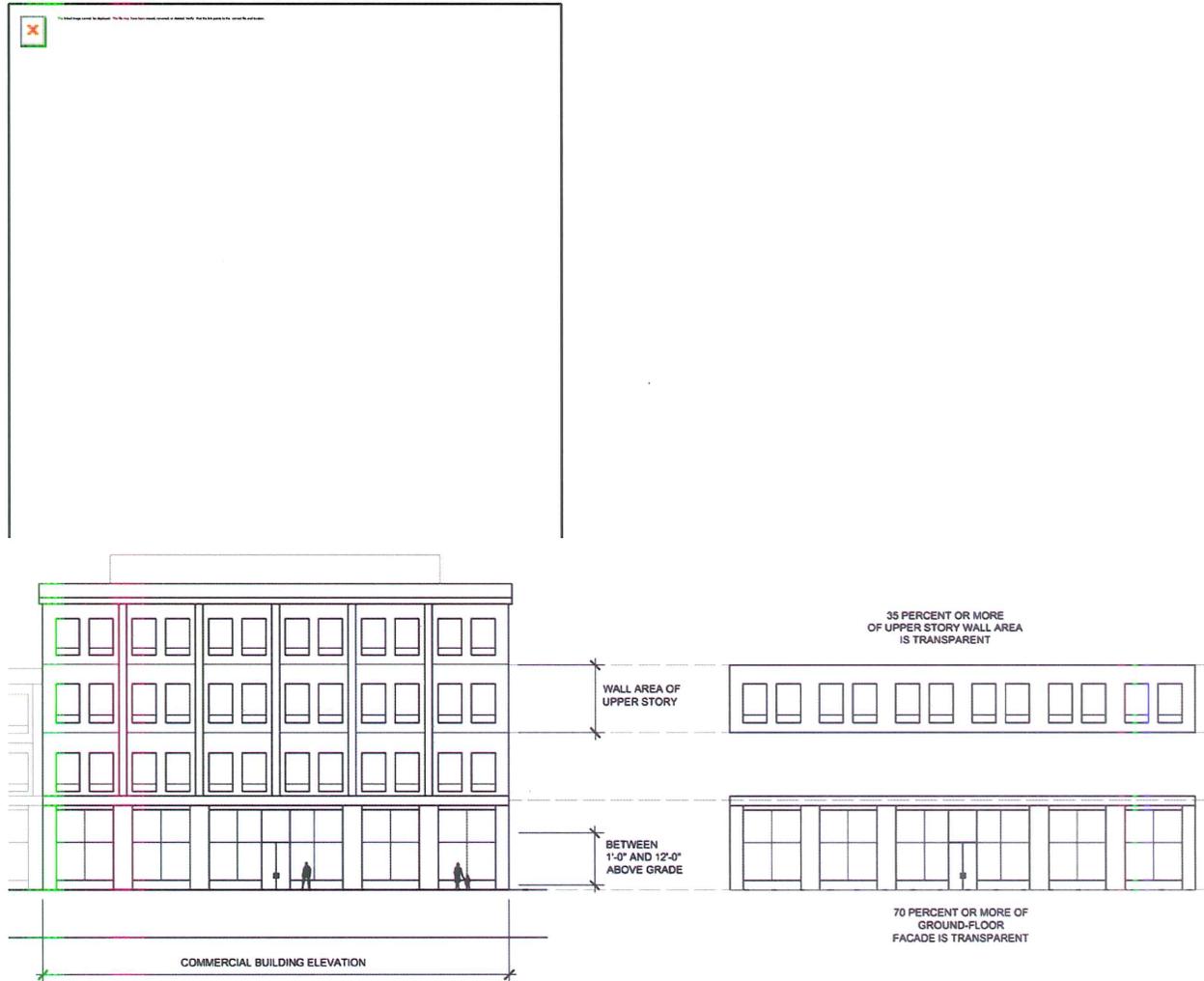
- b. Front-loaded residential parking garages with primary vehicle access from a public right-of-way are prohibited.
- c. Rear-loaded at-grade or "tuck-under" residential parking garages are encouraged and permitted so long as they are sited a minimum linear distance of 20 feet from a public right-of-way. (figure 11-3)

FIGURE 11-3



- d. Ground floor residential development shall be elevated 18 to 36 inches above grade along South Main Street and South Water Street and have primary building access from a public right-of-way.
3. **Nonresidential Building Design.**
- a. Variations in building materials, windows, color, articulation, signage, and awnings are encouraged and are permitted for ground floor retail and restaurant uses.
 - b. Commercial storefronts shall contain areas of transparency equal to at least 70 percent of the wall area of the story between the height of one foot and 12 feet above grade. Each upper story facade shall provide areas of transparency equal to at least 35 percent of the wall area of the story. This provision for upper stories may be waived if it conflicts with building or fire codes. (figure 11-4)

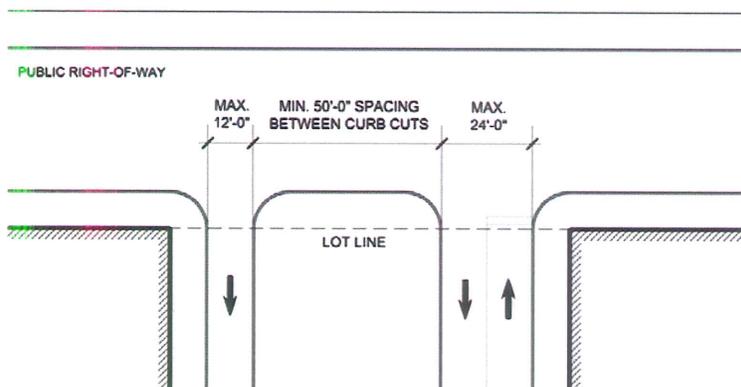
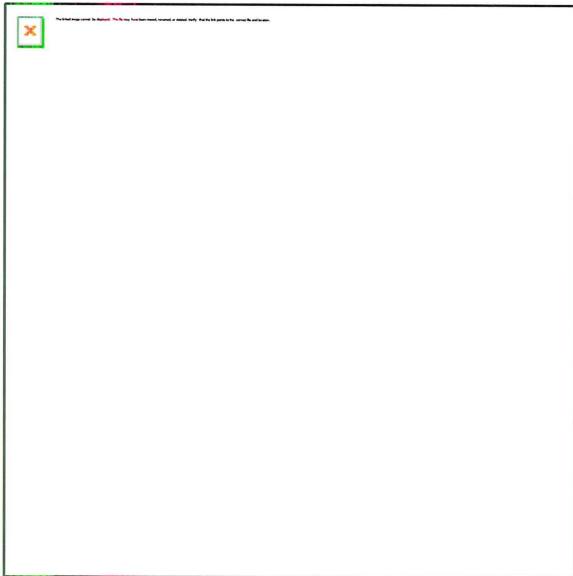
FIGURE 11-4



4. **Fence and Wall Design.** Fences and walls are permitted subject to the following regulations. The design review committee may grant waivers to these provisions.
 - a. Exterior landscaping walls shall be faced to complement the surrounding architecture.
 - b. Walls of a uniform material shall vary in pattern, texture and color and employ elements such as columns, pilasters, banding, or cornices to interrupt the monotony of continuous lengths of wall.
 - c. Fences shall be constructed from steel, aluminum, or wrought iron and may include stone or brick piers. Fence colors shall be chosen to blend into the landscape.
 - d. Fences and walls shall not exceed six feet in height.
5. **Parking.** Parking shall conform to the requirements of article 14 of this ordinance, along with the following provisions:
 - a. Driveway access to parking lots and parking structures is permitted on James Street, Transit Street, Dollar Street, Pike Street, Tockwotten Street, and George M. Cohan Boulevard.

- b. Driveway access to parking lots and parking structures is prohibited on South Main Street, South Water Street, and Wickenden Street, with the following exceptions:
 - i. When the lot has no frontage on any of said streets.
 - ii. When supported by evidence indicating impracticality due to site conditions and approved by the city traffic engineer.
 - iii. To satisfy the provisions set forth in item d. below.
- c. The maximum width of a one-lane curb cut for driveway access to parking lots and parking structures is 12 feet. The maximum width of a two-lane curb cut for driveway access to parking lots and parking structures is 24 feet. The minimum linear distance between curb cuts is 50 feet. (figure 11-5)

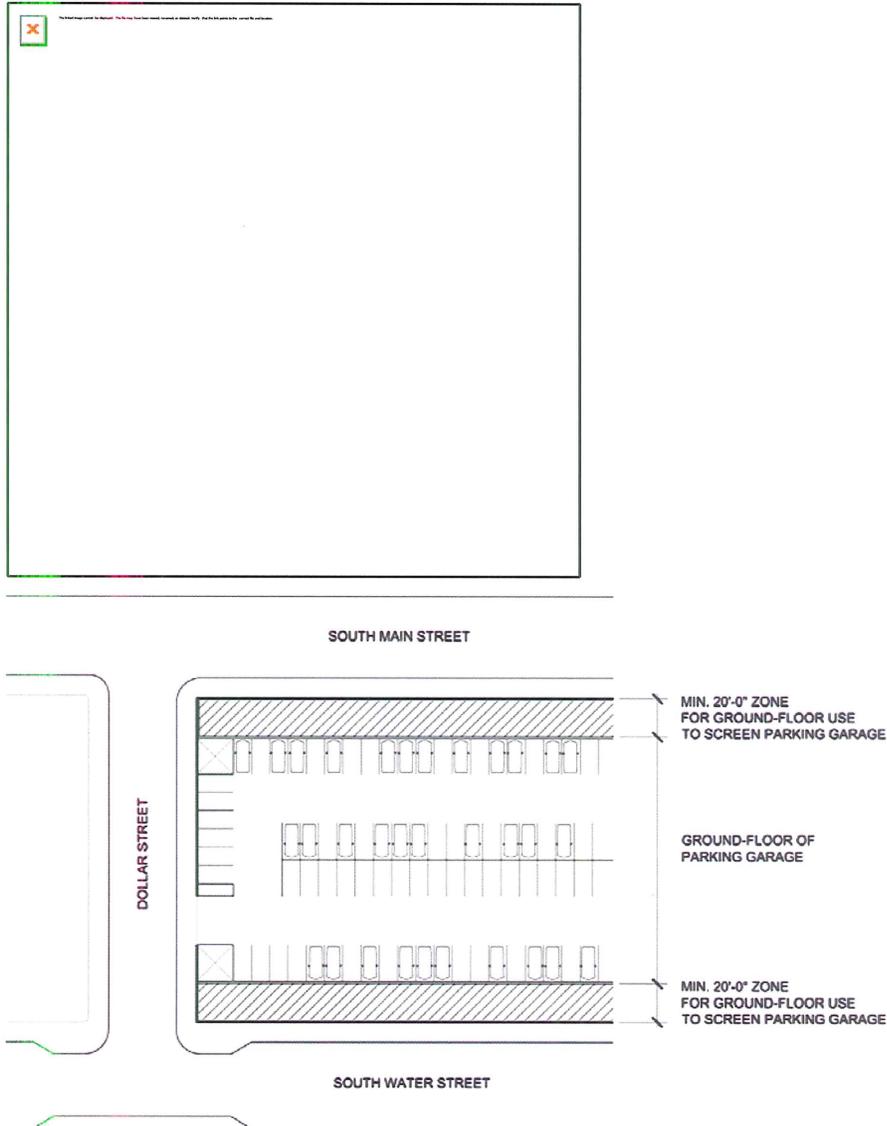
FIGURE 11-5



- d. Surface parking is strongly discouraged in the ES overlay district, and only permitted by waiver from the design review committee as an accessory use subject to the following conditions:
 - i. Accessory use parking lots are only permitted on the same lot as a principal use building.

- ii. Accessory use parking lots are prohibited within 20 feet of South Main Street, South Water Street, and Wickenden Street. For areas between the parking lot and South Main Street, South Water Street, and Wickenden Street that do not contain buildings, such areas shall be landscaped and fenced as required by the design review committee. Such areas may contain hardscape elements. (figure 11-6)
- iii. Surface parking provided along James Street, Transit Street, Dollar Street, Pike Street, Tockwotten Street, or George M. Cohan Boulevard shall be separated from the public right-of-way by a landscaped strip in accordance with section 1504. The design review committee may require fences and/or walls to buffer the parking.
- iv. The design review committee may impose a time limit on the waiver that permits surface parking.
- v. The parking surface shall utilize low-impact-development practices consistent with Providence Code of Ordinances and state laws to treat and discharge stormwater.

FIGURE 11-6



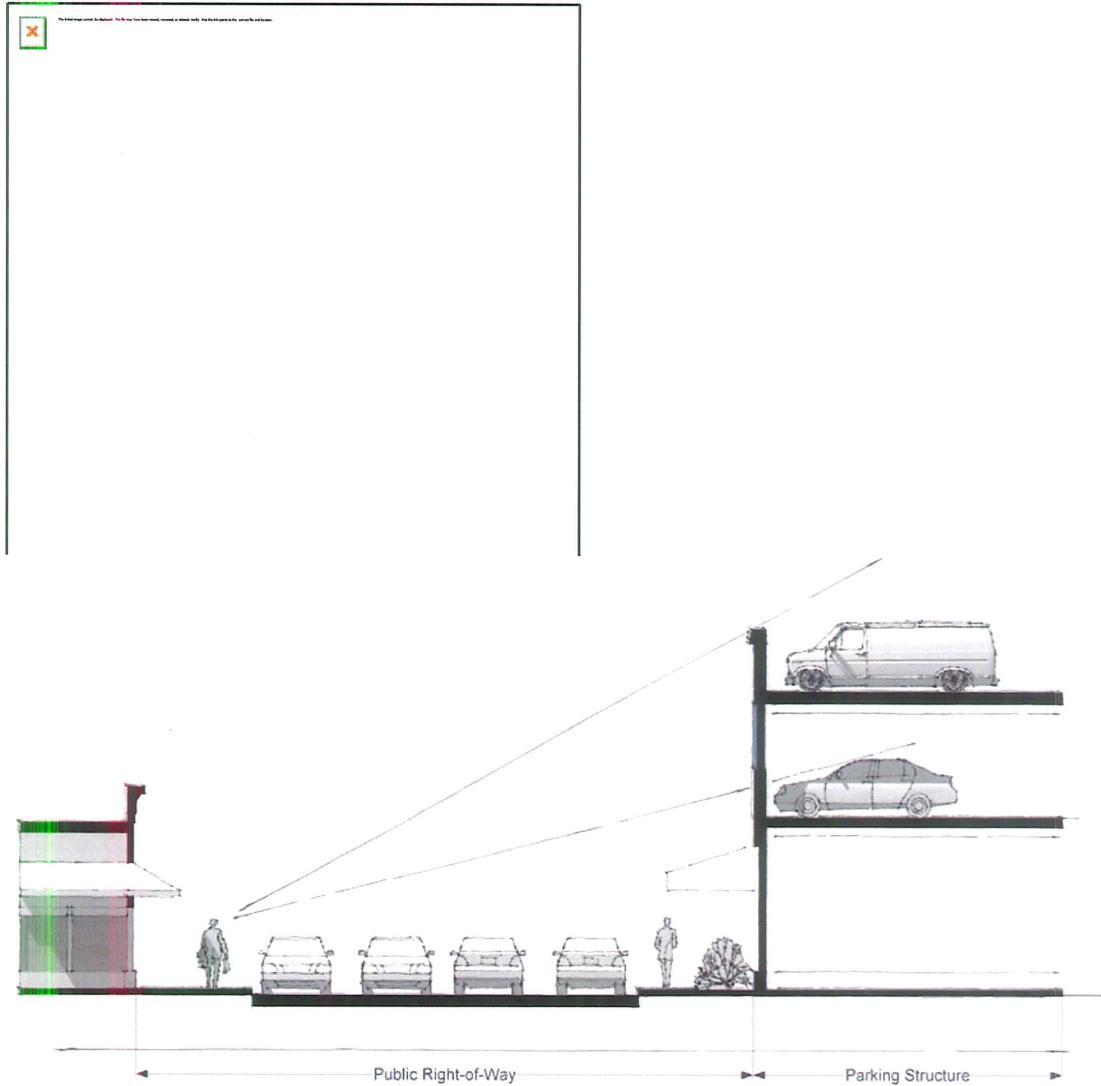
- vi. Light poles may not exceed 18 feet in height, and their design shall conform to section 1301.
- vii. The design review committee may impose further conditions to ensure that surface parking areas do not have a negative impact on the surroundings.
- e. Ground floor parking structures shall be physically separated from South Main Street, South Water Street, and Wickenden Street by a linear distance of at least 20 feet. (figure 11-7)

FIGURE 11-7



- f. Parking structure facades shall conceal from view the entirety of all parked vehicles from the far side of any right-of-way that abuts the property containing the parking structure. (figure 11-8)

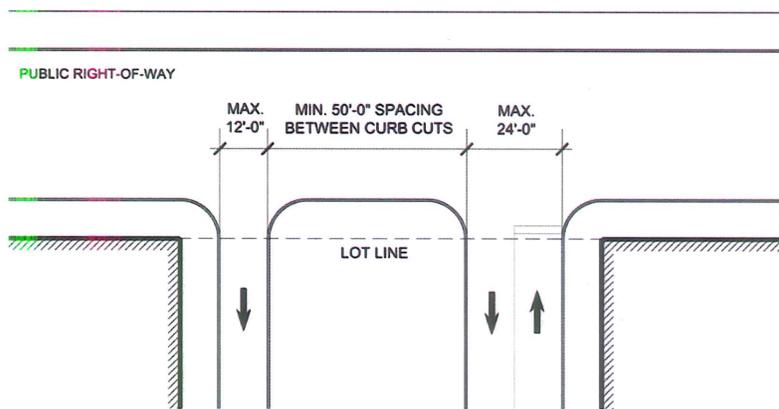
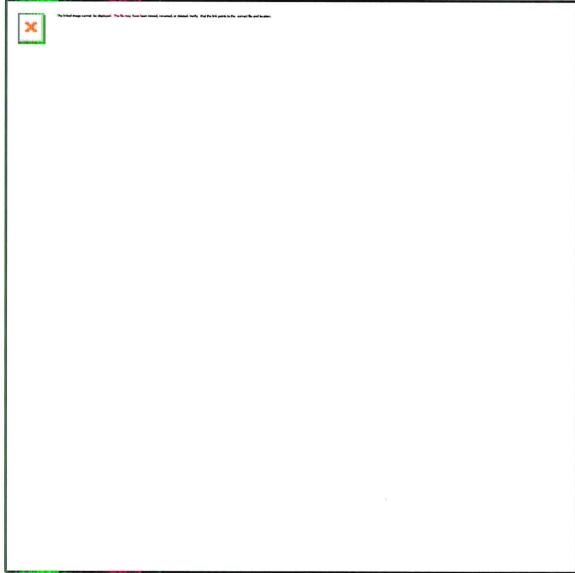
FIGURE 11-8



6. **Loading.** Off-street loading docks and areas shall be provided in accordance with article 14 and the following provisions:
- a. Driveway access to loading areas is permitted on James Street, Transit Street, Dollar Street, Pike Street, Tockwotten Street, and George M. Cohan Boulevard.
 - b. Driveway access to loading areas is prohibited on South Main Street, South Water Street, and Wickenden Street, with the following exceptions:
 - i. When the lot has no frontage on any of said streets.
 - ii. When supported by evidence indicating impracticality due to site conditions and approved by the city traffic engineer.
 - iii. To satisfy the provisions set forth in item d. below.
 - c. Interior loading shall be screened from view by solid, nontransparent doors that shall remain closed when the loading dock is not in use.

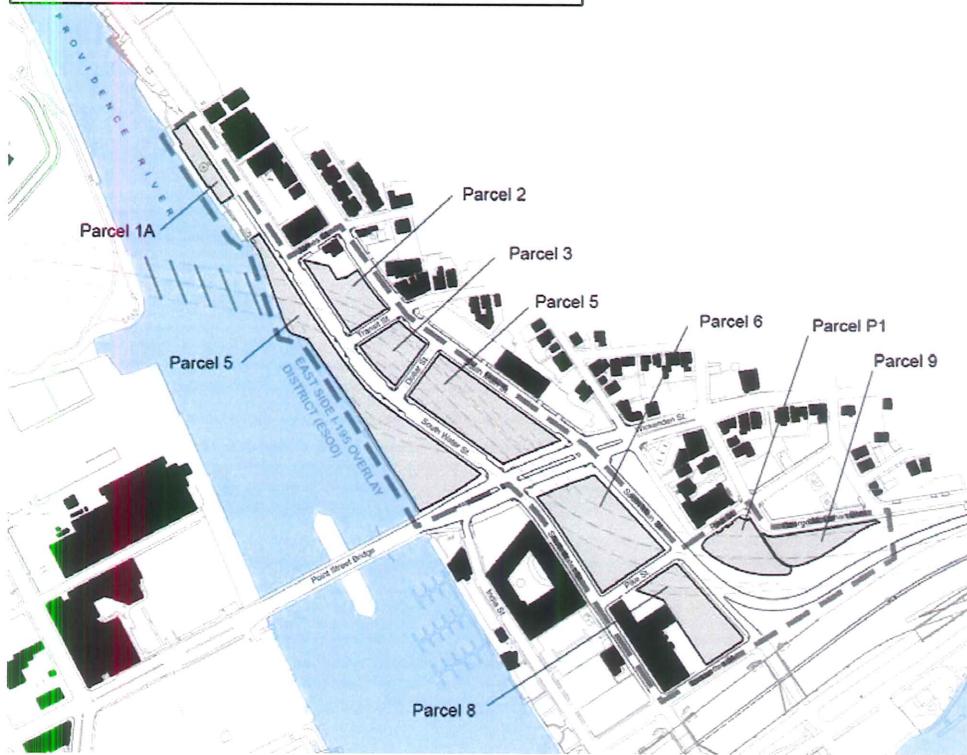
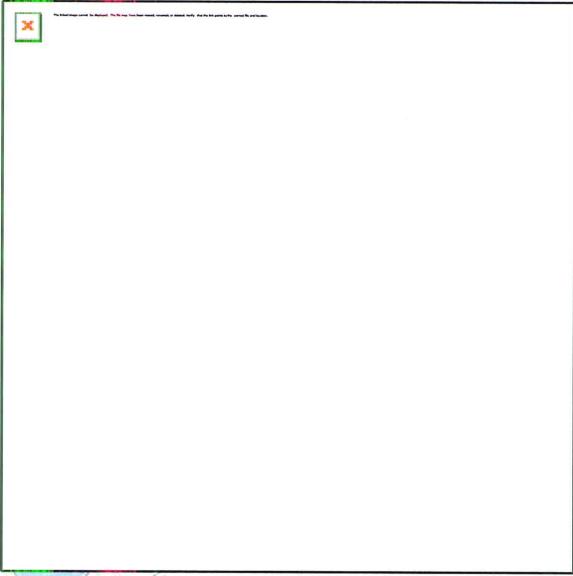
- d. The maximum width of a one-lane curb cut for driveway access to loading areas is 12 feet. The maximum width of a two-lane curb cut for driveway access to loading areas is 24 feet. The minimum linear distance between curb cuts is 50 feet. Wider curb cuts may be permitted by waiver if it is demonstrated that loading areas cannot be reasonably accessed given site conditions. (figure 11-9)

FIGURE 11-9



- 7. **Site Lighting.** Internal site lighting shall include decorative and/or concealed fixtures. Light spillage onto a public street or adjacent properties is prohibited.
- E. **Parcel-Specific Design Standards.** In addition to the above general design standards, the following parcel-specific design standards apply to development proposed for construction on the I-195 relocation surplus parcels identified below. (figure 11-10)

FIGURE 11-10
EAST SIDE I-195 RELOCATION SURPLUS LAND



1. **Parcel 1A.**

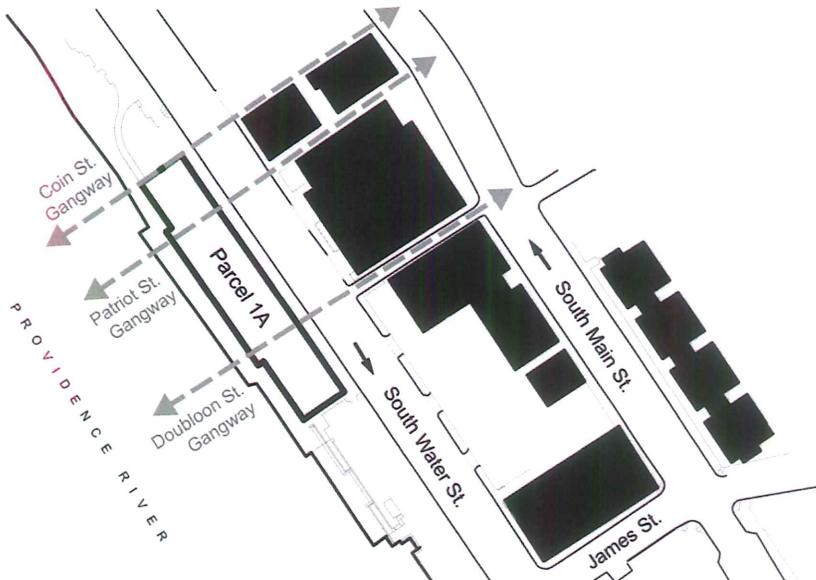
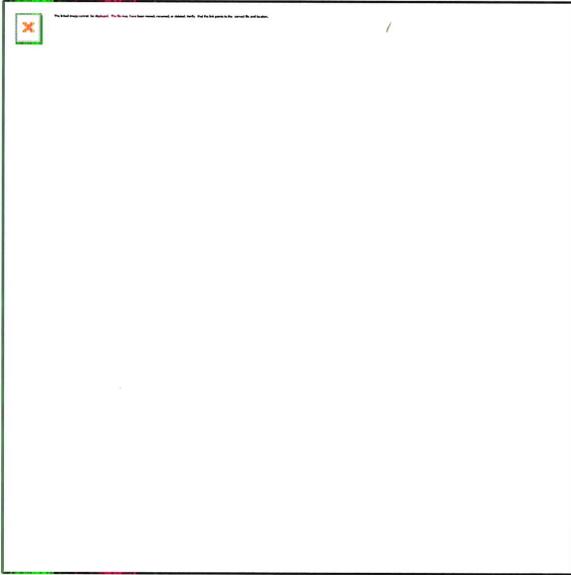
a. **Design Standards.**

- i. The ground floor building facade of all new buildings fronting the riverfront and South Water Street shall contain areas of transparency at least 70 percent of the wall area of the story, between the height of one foot and 12 feet above grade, of each building facade.
- ii. New buildings shall visually or physically reflect the historic alignment of the former Coin Street, Patriot Street, and Doubloon Street riverfront gangways through the use

of signs, pavement markings, architecture, or other interpretive elements. (figure 11-11)

- iii. Surface parking lots and parking structures are prohibited.
- iv. Curb cuts and driveway access are prohibited.
- v. Off-street parking is not required.

FIGURE 11-11



- 2. **Parcel 2.**
 - a. **Design Standards.**
 - i. No parcel-specific design standards, except as provided in this section.
- 3. **Parcel 3.**
 - a. **Design Standards.**

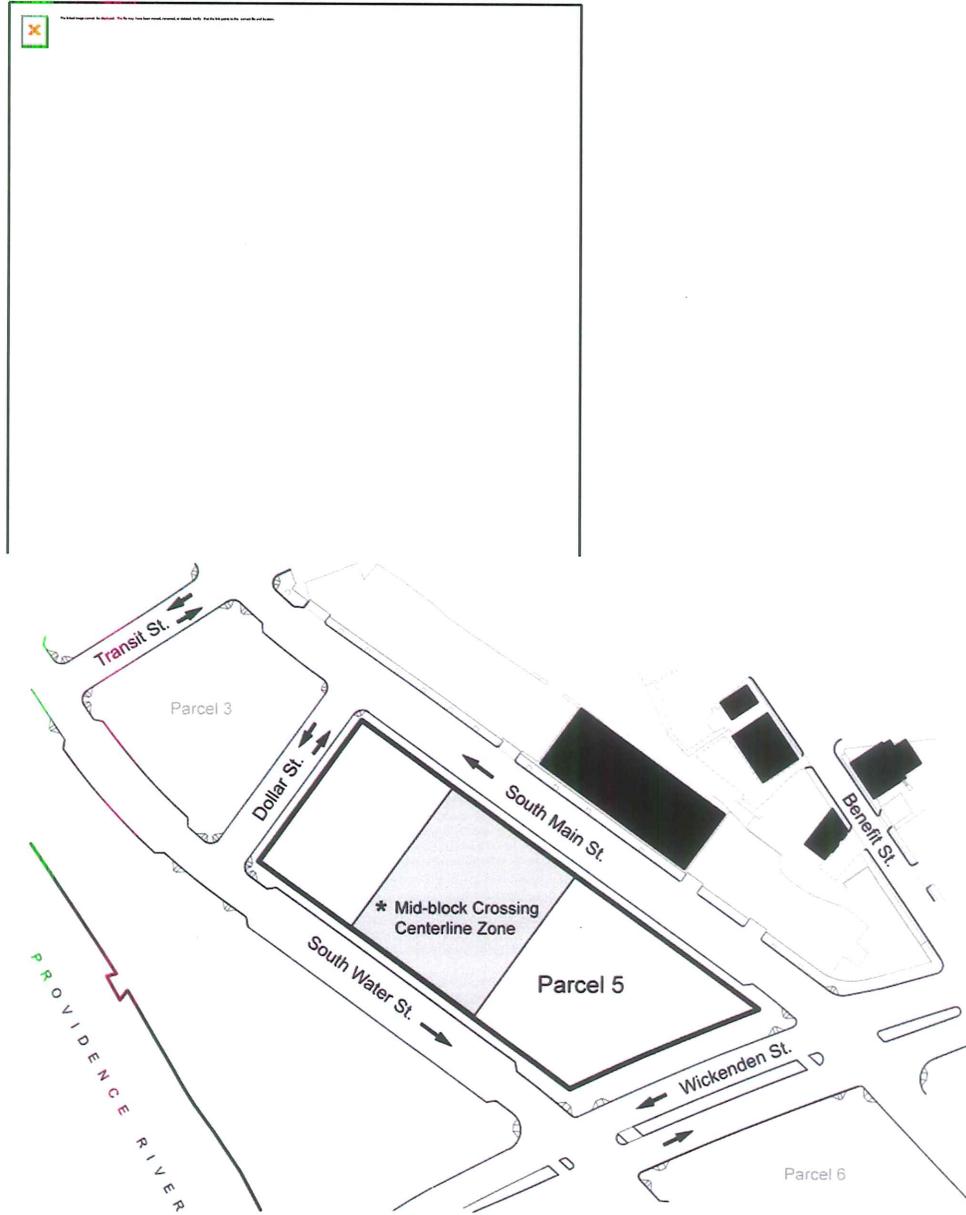
- i. No parcel-specific design standards, except as provided in this section.

4. **Parcel 5.**

a. **Design Standards.**

- i. Building facades shall be constructed within a build-to zone of between zero and three feet from the lot line for 100 percent of the Wickenden Street frontage.
- ii. A publicly-accessible mid-block connection of at least 20 feet in width shall be provided for pedestrian and/or vehicular circulation between South Main Street and South Water Street; the centerline for which shall be located within a linear distance of between 30 percent and 70 percent of the length of the South Water Street block frontage between Dollar Street and Wickenden Street (see map). Curb cuts for access to vehicle parking and loading areas are permitted along South Main Street and South Water Street at said mid-block location. (figure 11-12 and figure 11-13)

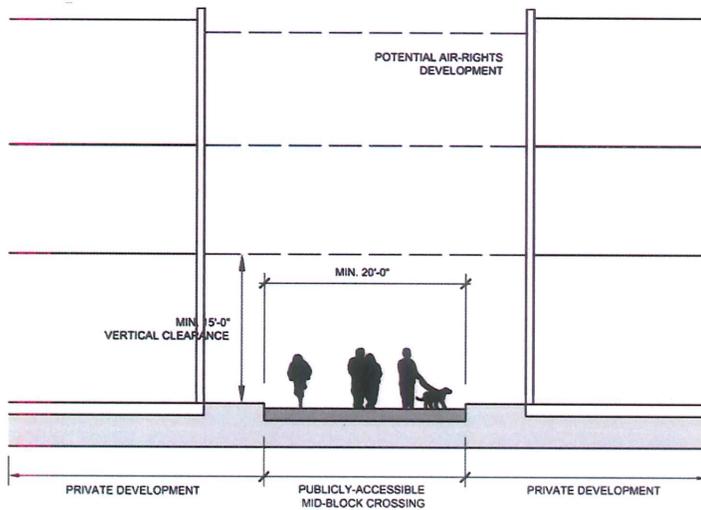
FIGURE 11-12



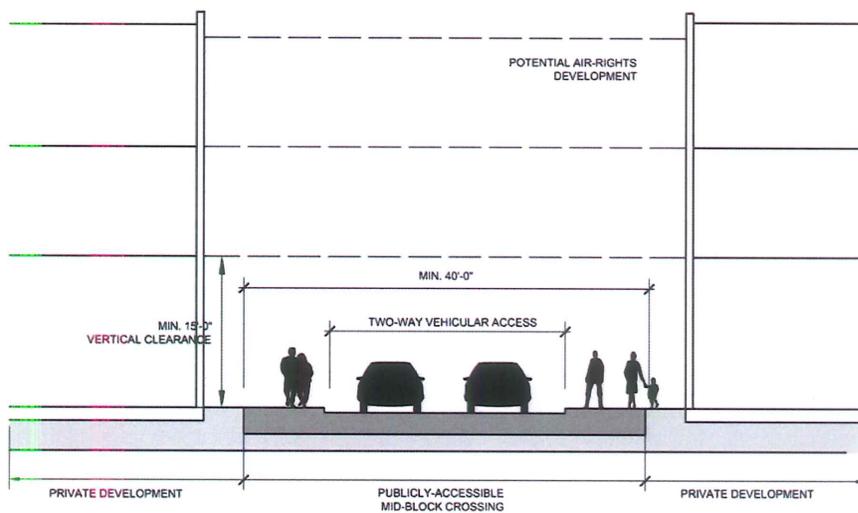
* Mid-block crossing centerline shall be located within the shaded area.

FIGURE 11-13





**ILLUSTRATIVE EXAMPLE CROSS-SECTION:
MULTI-USE PATH**



**ILLUSTRATIVE EXAMPLE CROSS-SECTION:
PEDESTRIAN & VEHICULAR ACCESS**

5. Parcel 6.

a. Design Standards.

- i. Building facades shall be constructed within a build-to zone of between zero and three feet from the lot line for 100 percent of the Wickenden Street frontage.

6. Parcel 8.

a. Design Standards.

- i. No parcel-specific design standards, except as provided in this section.

7. Parcel 9.

a. Design Standards.

- i. No parcel-specific design standards, except as provided in this section.

8. **Parcel P1.**

a. **Design Standards.**

- i. No parcel-specific design standards, except as provided in this section.

F. **Development Incentives.**

1. There exists a significant opportunity to create an active, mixed-use, pedestrian-friendly, and amenity-rich urban environment on the east side I-195 surplus land and reconnect the Fox Point neighborhood to its waterfront. In order to achieve this vision, the city seeks to encourage development that has significant public benefits, strengthens the South Main Street and South Water Street corridors, and enhances east-west pedestrian connections to the Providence Riverfront. Height bonuses are intended to give property owners incentives to provide additional community amenities, such as passive and active recreational open space, active ground floor land uses, mixed-use development, and transportation infrastructure, in conjunction with the proposed development.
2. For proposed developments within the ES overlay district, the design review committee is authorized to grant height bonuses of up to two stories above the maximum building height of the underlying zoning district if one or more of the following are provided as part of the proposed project:
 - a. Provision of 50 percent or more of off-street parking in a parking structure in conformance to the provisions set forth in this section.
 - b. Provision of on-site, publicly accessible open space for passive and/or active recreation within the ES overlay district totaling a minimum of ten percent of the lot area, with the condition that the open space is available for use every day, year-round, during daylight hours, and maintained by the property owner.
 - c. Provision of a minimum of 5,000 square feet of active ground floor uses fronting South Main Street, South Water Street, or Wickenden Street including, but not limited to, restaurants and cafes, sales and service retail, professional office space, art galleries, performance space, and community event space.
 - d. Provision of vertical mixed-use development, of which at least 50 percent is devoted to residential use.

(Ord. 2014, ch. 2014-39, § 1, 11-24-14)